

PLANNING COMMITTEE REPORT

Development Management Service
 Planning and Development Division
 Environment and Regeneration
 Department



PLANNING SUB-COMMITTEE B		
Date:	1 st October 2019	NON-EXEMPT

Application number	P2018/3231/FUL
Application type	Full Planning Application
Ward	Bunhill
Listed building	No
Conservation Area	Within the setting of the Charterhouse Square Conservation Area (immediately to the north) Within the setting of the Hat and Feathers Conservation Area (25m away to the south west)
Development Plan Context	Within the setting of Grade II Listed Buildings (no. 25 Goswell Road immediately adjacent to the south, and Medical College, Rutland Place immediately adjacent to the west) Within the setting of Grade II* Listed Building (Crescent House to the east (opposite)) Archaeological Priority Area - Clerkenwell Bunhill & Clerkenwell Core Strategy Key Area Central Activities Zone Finsbury Local Plan Employment Priority Area (General) and (Offices) Bunhill & Clerkenwell Finsbury Local Plan Area Cycle Routes (Local) Article 4 Direction A1-A2 (Rest of Borough) Article 4 Direction B1(c) to C3
Licensing Implications	No
Site Address	Gulliver's House, 27 Goswell Road [inc land & access to rear adj to 14 Charterhouse Buildings] London EC1M 7GT
Proposal	Refurbishment and recladding of existing office building with remodelling on the ground and 6th to 8th floors on the front elevation, a part 9 storey rear extension from lower ground to 7th floor, and an 8th floor of office accommodation instead of plant (with existing plant equipment consolidated and relocated to lower ground level), rear roof terraces (8 th and lower ground floors) and associated alterations, and a change of use of part of ground floor from existing office (Use Class B1(a)) to retail (Use Class A1), together with the introduction of cycle parking and

	other works.
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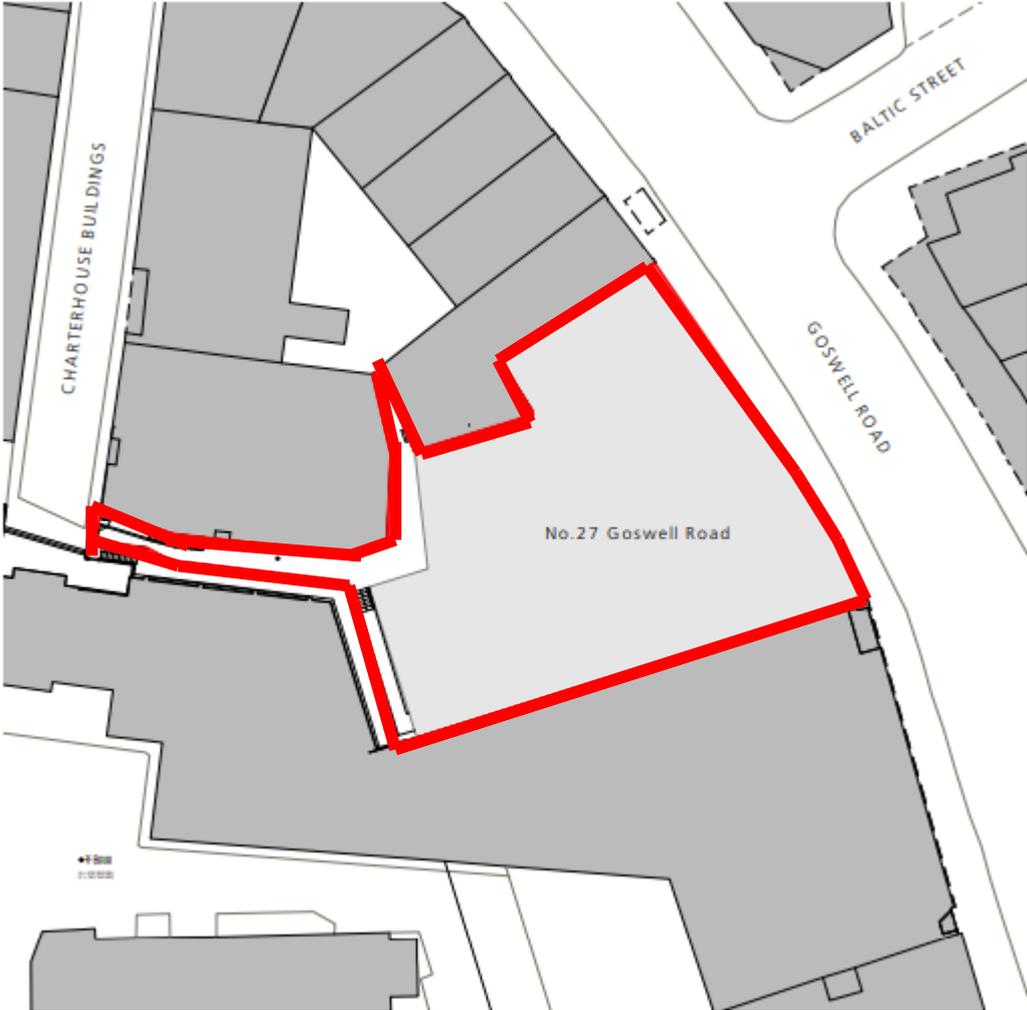
Case Officer	Daniel Jeffries
Applicant	Dorrington PLC - Andrew Giblin
Agent	JLL - Jen Roberts

1. RECOMMENDATION

The Committee is asked to resolve to **GRANT** planning permission subject to:

- 1.1 The conditions set out in Appendix 1;
- 1.2 Conditional upon the prior completion of a Deed of Planning Obligation made under section 106 of the Town and Country Planning Act 1990 securing the heads of terms as set out in Appendix 1;

2. SITE PLAN (site outlined in black)



3. PHOTOS OF SITE/STREET

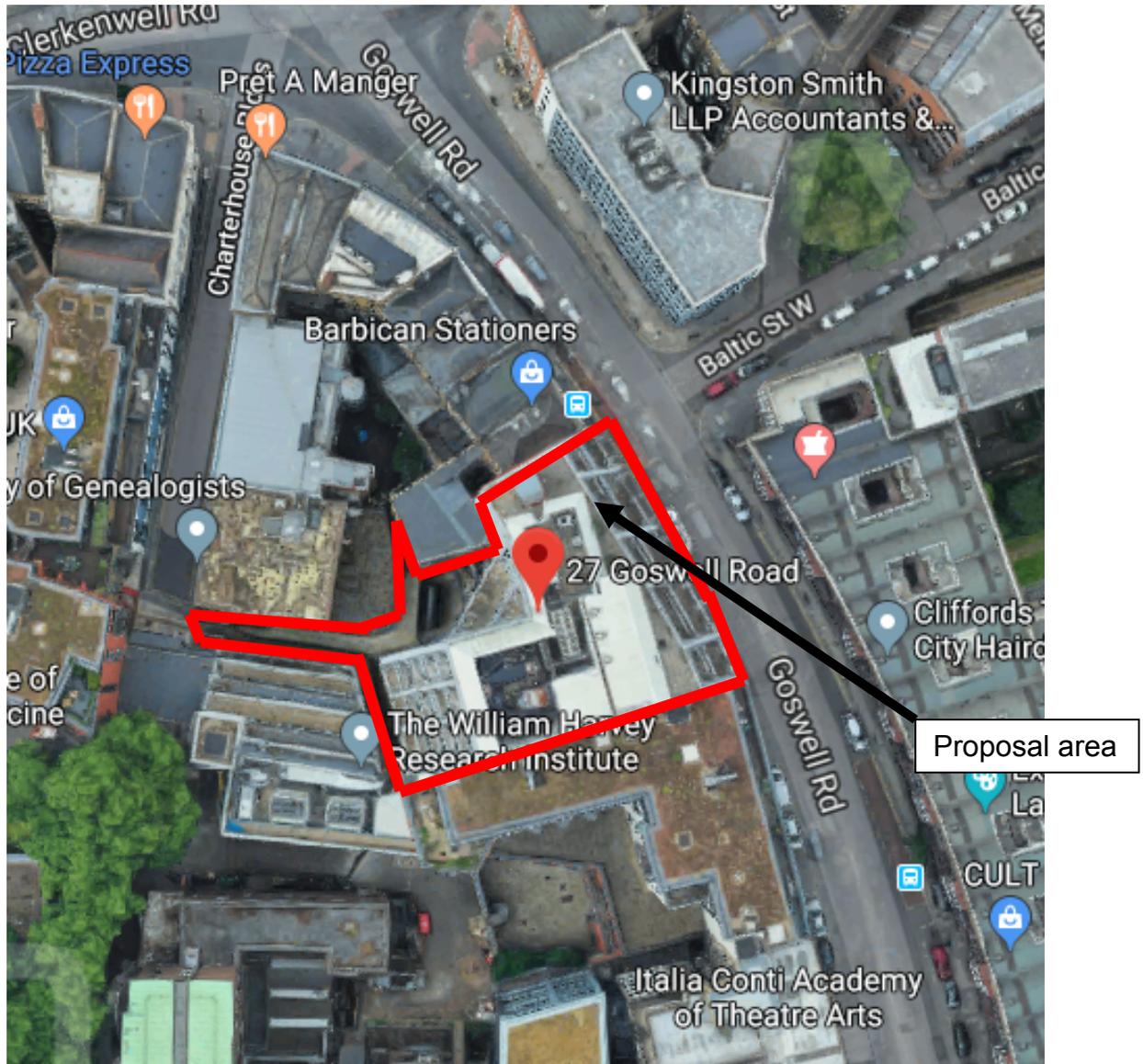


Image 1: Aerial view of the application site

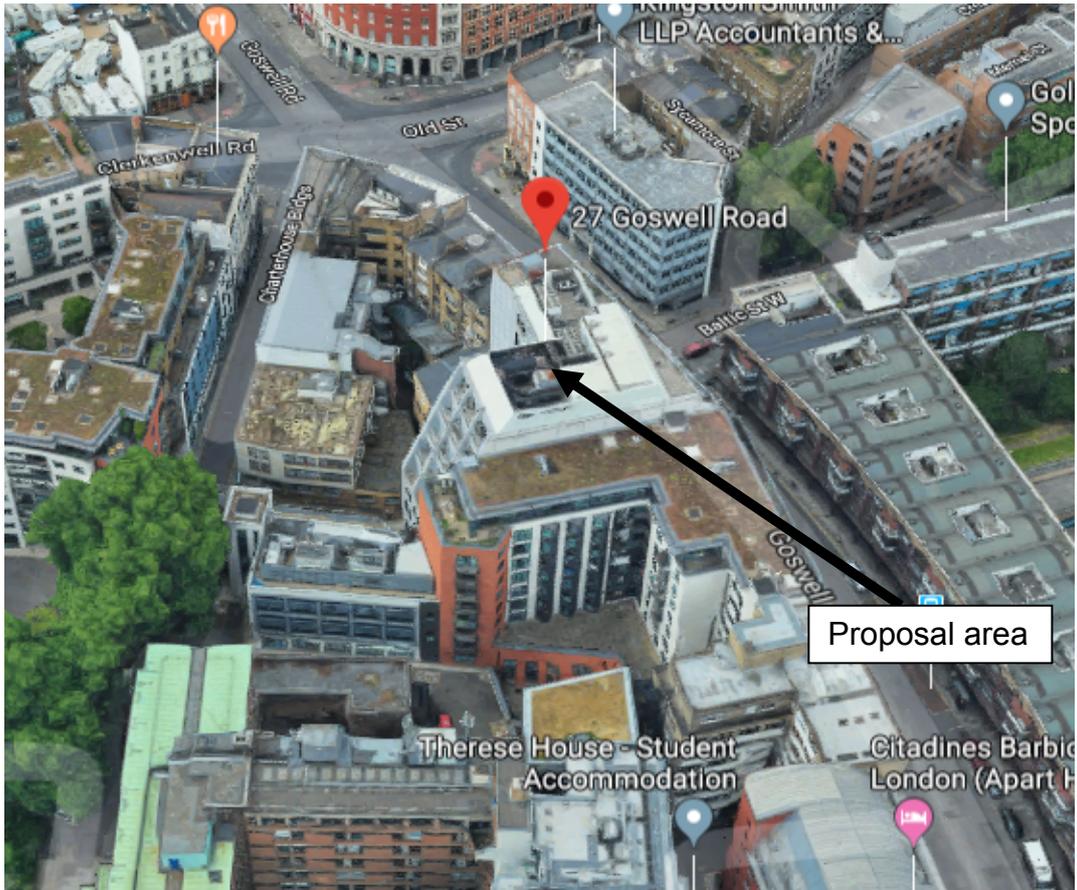


Image 2: Aerial view in southerly direction



Image 3: Photograph showing existing front façade from Goswell Road



Image 4: Photograph showing existing rear elevation

4. SUMMARY

- 4.1 Planning permission is sought for the internal refurbishment and recladding of the existing office (B1a use) building with remodelling on the ground and 6th to 8th floors on the front elevation, a part 9 storey rear extension from lower ground to 7th floor, and an 8th floor of office accommodation to replace the existing plant and associated screening. The existing plant equipment would be consolidated and relocated internally including to lower ground level. The proposal would include rear roof terraces and would result in the change of use of part of ground floor to create a new retail (Use Class A1) unit, which would be integrated alongside the introduction of cycle parking at ground and lower ground floors.
- 4.2 The application is brought to committee as the uplift in B1(a) exceeds 250 sqm and there are objections received.
- 4.3 The proposal to extend and internal refurbish the host building is welcomed in principle, with the proposal to provide additional office floorspace (926 sqm (GIA)), as well as the introduction of an active frontage in the form of a retail (A1 use) unit (72 sqm (GIA)) is compliant with the Policy CS7 of Islington Core Strategy Policies (2011) and Policy BC8 of the Finsbury Local Plan and is appropriate in its location within the Central Activities Zone, which also seeks to maximise business floorspace.
- 4.4 Whilst the proposal would result in increased bulk and massing to the upper floors front and rear elevations, it would not result in the building increasing in height, and shown within the verified views the proposal would retain a similar relationship with the surrounding buildings. The proposal is considered to improve the materiality,

including the high quality materials proposed, and has been designed to visually integrate with the surrounding area, with the use of vertical emphasis and clear entrance to the site to be more reflective of the surrounding area. Overall, the proposal is considered to result in no harm to the host building and pay special regard to preserving the visual appearance and historic character of the setting of the heritage assets in the surrounding area.

- 4.5 The proposed development would result in some harm to the residential amenities of neighbouring dwellings, including by reason of loss of daylight and sunlight. However, the impact would relate to bedrooms or rooms which would be dual aspect and/or relate to secondary windows, and would comply with BRE requirements in relation to daylight distribution. In view of the central urban location, the need to make efficient use of the site the proposed development is acceptable in terms of its impact upon the residential amenities of the occupants of nearby dwellings. Conditions have been recommended in relation to the hours of use of the roof terraces, the ground floor retail unit, as well as noise levels for the plant equipment to protect the amenity of neighbouring properties.
- 4.6 The proposal would be compliant with the Council's policies in regard to sustainability and energy, with the inclusion of green roofs, and has identified a number of measures with the associated Sustainable Design and Construction Statement and Energy Strategy including thermal insulation, ventilation measures, automatic lighting controls, biodiversity, BREEAM amongst others. Conditions have been recommended to ensure these measures are implemented in full, and that the development achieves a rating of BREEAM 'very good'.
- 4.7 The proposal is considered provide accessible accommodation, with the use of level access to both the office and retail use accommodation, and would include lifts throughout the building. Conditions have been recommended to ensure the measures are implemented and retained for the lifetime of the building.
- 4.8 For the proposed retail unit appropriate conditions have been recommended relating to the details of delivery and servicing, as well as the provision of cycle storage for both the retail and office accommodation.
- 4.9 Appropriate Section 106 Heads of Terms have been agreed with the applicant to mitigate the impacts of the development and secure compliance with the Development Plan to support employment and training initiatives in the borough to improve the prospects of local people accessing new jobs.

5. SITE AND SURROUNDINGS

- 5.1 The application site is located to the west of Goswell Road. The application building is eight storeys in height with basement level below, with a substantial plant area at roof level. The front of the building cuts back at the top three floors, including the plant area. The rear of the building rakes back at an angle from the 3rd floor. The main entrance to the building is from Goswell Road, which has a recess at ground and first floor. The host building is currently occupied for office accommodation (B1(a) use), 6,362 sqm (GIA).

5.2 The application building is not listed, nor is the site within a conservation area but the site is located within in an area subject to a number of heritage designations. The Hat and Feathers Conservation Area is located immediately adjacent to the north, and the Charterhouse Square Conservation Area is located 25m away to the southwest. The site is also within the setting of several listed buildings (identified in Image 5), including the Grade II Listed Buildings of William Harvey Heart Centre, no. 25 Goswell Road and Medical College on Rutland Place, positioned immediately adjacent to the south and west respectively. In addition, the site is within the setting of the Grade II* Listed Building, positioned on the opposite side of Goswell Road, (Crescent House), and the Barbican, located 250m to the south of the site. The site is also located within Clerkenwell Archaeological Priority Area.

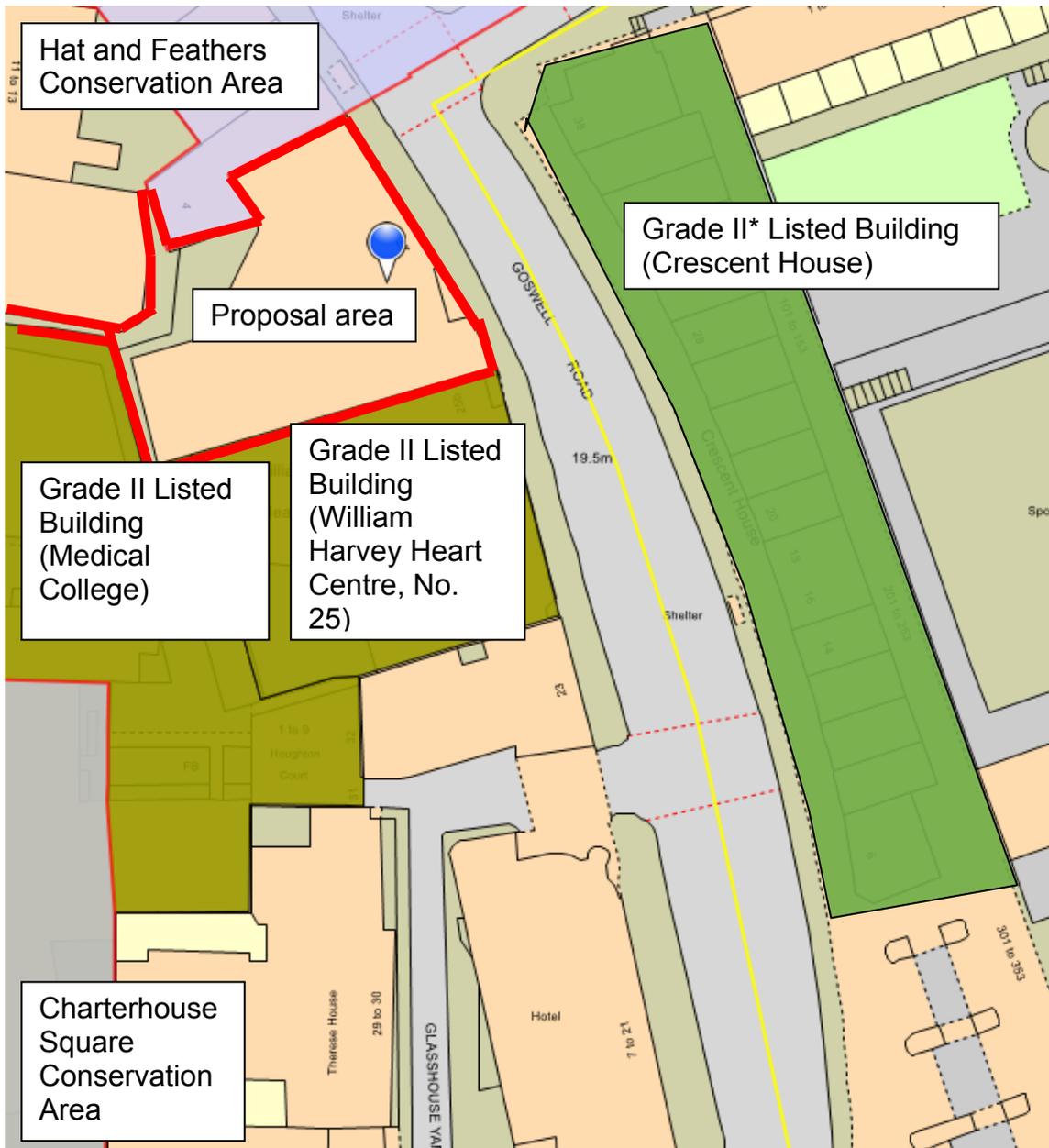


Image 5: Map showing poposal area in relation to surrounding heritage assets

6. PROPOSAL (in Detail)

- 6.1 Planning permission is sought for the refurbishment and recladding of existing office building with remodelling on the ground and 6th to 8th floors on the front elevation, a part 9 storey rear extension from lower ground to 7th floor, and an 8th floor of office accommodation instead of the existing plant equipment area, resulting in no increase in the maximum height of the building. The proposed extensions would result in an additional 926 sqm (GIA) of office floorspace and include the introduction of a ground floor retail (A1 use) at ground floor, being 72 sqm.
- 6.2 The external facades of the existing building would be remodelled. The existing pink granite cladding (ground to 5th floors), curtain walling (to the ground and first floor) and grey aluminium cladding (upper floors) to the Goswell Road frontage would be replaced by smooth pre-cast concrete panels, separated with ribbed pre-cast concrete piers, interspersed with clear glazed curtain wall, with smooth finished white pre-cast concrete floor spandrels, with lighter coloured materials being utilised for upper floor piers. The rear façade of glazed curtain walling and aluminium panels will be replaced by full height glazed curtain walling alongside insulated render, with colour variation to match the front façade. The changes also include proposed roof terraces to the rear elevation associated with the office accommodation. The north elevation will continue the floor spandrels with corner curves. Notwithstanding the above, it should be noted that the host building benefits from extant planning permission (ref. P2019/1117/FUL) for a single storey ground floor office extension with glazed office frontage and entrance. At the time of the writing of this report, this scheme has yet to be implemented.
- 6.3 The proposal would maintain the existing double height recessed frontage, with separate entrances for the office and retail uses. A feature column is proposed to identify the new reception area for the new office entrance towards the south of this elevation. The entrance to the new retail unit would be positioned centrally, with the façade stepping out in line with the building line above.
- 6.4 A number of alterations and improvements are proposed internally refurbishment, including the consolidation of the accessibility of the accommodation, improving the WCs, the inclusion of cycle parking at lower ground floor and accessible cycle parking at ground floor, the inclusion of shower cubicles, dedicated drying rooms and lockers. The existing plant at roof level would be consolidated and replaced, with the majority relocated to the lower ground floor and to the rear of the building (at 7th floor), with condensers provided at each floor with a centralised air handling unit at lower ground floor level to provide temperature controlled air supply to each floor. A dedicated service entrance is also provided at ground floor.
- 6.5 The initial proposal was amended following initial feedback from the Council in relation to the design of the proposal. These changes included changing the top storey to a solid capping, the removal of the top floor flank elevation windows and the corner treatment has been standardised at the top floors. The alterations included to the ribbing size of the concrete piers, the degree of shading and the relocation of the plant louvres on the rear elevation. There was clarification regarding terraces, views, the parapet, the curtain walling, window treatments, expansion joint positions and materials, the spandrel lip, feature column and the use

of render to the rear elevation. A summary of these design changes are provided in the document titled 'Supporting Design Response' dated 20th February 2019.

- 6.6 It is noted that the host building is over 30m in height, which is the threshold requirement for planning applications (outside the City of London) referable for the Mayor of London (Part 1, Category 1C, 1.(c) of Mayor of London Order (2008)). However, given the planning application does not result in alteration (increase in height) of an existing building by more than 15m in height ((Part 1, Category 1D, 1.(a) of Mayor of London Order (2008))), the proposal is not required to be referred to the Mayor of London.



Image 6: Proposed visual of host building facing north along Goswell Road

7. RELEVANT HISTORY:

PLANNING APPLICATIONS

27 Goswell Road

- 7.1 870868 – Change of use from (Class B8) warehousing to (Class B1) Business Use. Approved with conditions on 17/02/1988.
- 7.2 871565 – Redevelopment to provide 7110 sq.m. of floor space in an eight storey building within Class B1 Business Use. Approved with conditions on 22/02/1988.
- 7.3 882187 – Redevelopment to provide 7110 sq.m. in an eight storey building plus basement within Business Use Class (Class B1). Approved with conditions on 22/02/1988.

- 7.4 891732 - Installation of non-illuminated advertisements comprising: - (a) contractor's board 2.440m x 2.000m and 2.440m above pavement level. (b)2 Agent's boards at 45degree angle each 2.440m x 3.050m and 5.5m above pavement level. Approve with conditions on 05/02/1990.
- 7.5 930797 - Erection of three banners on the front elevation. Approved with conditions on 18/08/1993.
- 7.6 940507 – Erection of railings to balconies on west elevation at fourth fifth sixth and seventh floor levels to create balconies. Approved with conditions on 31/08/1994.
- 7.7 P071213 – Removal of garage door to existing commercial building and replacement with glazed screen with double doors. Approved with conditions on 03/08/2007.
- 7.8 P2017/4991/FUL – Proposed internal refurbishment and external recladding of existing office building with part three storey extension (front elevation) (from 6th to 8th floor) and part six storey extension (rear elevation) (including additional 8th floor of office accommodation) with proposed plant equipment above at roof level, with associated screening and other works. Proposed roof terraces (at 8th, 7th, 5th and 2nd floor levels). Change of use part of ground floor from existing office (B1) to a proposed retail/cafe (A1/A3) use, together with the introduction of cycle parking and other works. Withdrawn by the applicant on 14/03/2018.
- 7.9 P2019/1117/FUL – Proposed single storey ground floor office extension with glazed office frontage and entrance, clear and opaque glazing, green planter roof with openable windows at first floor for maintenance and ventilation and alterations to louvre. Approve with conditions on 03/06/2019.

ENFORCEMENT

- 7.8 E11/05405 – Enforcement investigation into the installation of machinery in rear courtyard. Case closed on 11/03/2011.

PRE-APPLICATION ADVICE:

- 7.9 Q2017/0505/MJR – Pre-application for single storey roof extension with plant above, front extension to 6th and 7th floors, rear extension to 3rd to 7th floors, three storey rear extension, alterations and re-cladding to front elevation and change of use of part of ground floor from office to retail.

Officers response summary:

- Advised The increase in office floor space within an Employment Priority Area (offices) is supported, while the addition of a retail unit would help to activate the ground floor frontage.
- The remodelling of the front of the property would help to enhance the appearance of the building and the character of this part of Goswell Road subject to the changes in terms of its scale and bulk, and acceptable materiality. Notwithstanding this, the site is not located within an area identified in the local plan as suitable for tall buildings and the surrounding area is characterised by lower level buildings. As such, the proposed additional height and massing at upper floor level is not supported and it is advised that the eighth floor be omitted and whilst it has been reduced in scale, the location of the roof top plant be reconsidered. Furthermore, there are concerns in relation

to the rear extensions, and further justification needs to be provided in terms of whether there was a reason for the existing tiered design.

- It is recommended that the scheme is revised, with further detail provided regarding the rear additions.
- Notwithstanding the above, in the event that you wish to go forward with the current design, it is advised that detailed townscape and design justification is provided to try and show that it would be acceptable, and also addressing all of the other material considerations to ensure that the proposal is in full compliance with the policies in the Development Plan.
- In its current form the concerns relating to the overall design, additional height, bulk and massing are considered to cause sufficient harm in visual terms such that the identified public benefits of the schemes improvements to the lower floors and elevations, commercial unit on the ground floor and uplift in B1 office floorpace would not be outweighed in the planning balance by the visual harm/concerns raised here. however, the above advice has identified key areas which would improve the scheme, and provide further justification in terms addressing the concerns where applicable.

7.11 Q2017/2169/MIN – Follow-up pre-application for single storey roof extension in place of existing plant enclosure, front extension to the 6th and 7th floors, rear extension from the 3rd to 7th floors, alterations and re-cladding to front elevation including internal refurbishment of existing office building three storey infill extension and change of use of part of ground floor from office to create a new retail unit (A1 use).

Officers response summary:

- Advised The increase in office floor space within an Employment Priority Area (offices) is supported, while the addition of a retail unit would help to activate the ground floor frontage.
- The remodelling of the front of the property would help to enhance the appearance of the building and the character of this part of Goswell Road subject to the changes set out above and acceptable materiality. Notwithstanding this, the site is not located within an area identified in the local plan as suitable for tall buildings and the surrounding area is characterised by lower level buildings. As such, the proposed additional height and massing at upper floor level is not supported and it is advised that the eighth floor be omitted and whilst it has been reduced in scale, the location of the roof top plant be reconsidered. Furthermore, there are concerns in relation to the rear extensions, and further justification needs to be provided in terms of whether there was a reason for the existing tiered design.
- It is recommended that the scheme is revised, with further detail provided regarding the rear additions.
- Notwithstanding the above, in the event that you wish to go forward with the current design, it is advised that detailed townscape and design justification is provided to try and show that it would be acceptable, and also addressing all of the other material considerations to ensure that the proposal is in full compliance with the policies in the Development Plan.
- In its current form the concerns relating to the overall design, additional height, bulk and massing are considered to cause sufficient harm in visual terms such that the identified public benefits of the schemes improvements to the lower floors and elevations, commercial unit on the ground floor and uplift in B1

office floorspace would not be outweighed in the planning balance by the visual harm/concerns raised here. however, the above advice has identified key areas which would improve the scheme, and provide further justification in terms addressing the concerns where applicable.

- 7.12 Q2018/1729/MIN – Follow-up pre-application for single storey front extensions, at 6th, 7th and 8th floors, and rear extensions at 3rd to 8th floors, with green roof and lift overrun above. Alterations and re-cladding to front, rear and side elevations including internal refurbishment of existing office building three storey infill extension to rear and change of use of part of ground floor from office to retail.

Officers response summary:

- Advised that the increase in office floor space within an Employment Priority Area (offices) is supported, while the addition of a retail unit would help to activate the ground floor frontage.
- The remodelling of the front of the property would help to enhance the appearance of the building and the character of this part of Goswell Road subject to the changes set out above and acceptable materiality.
- Notwithstanding this, the site is not located within an area identified in the local plan as suitable for tall buildings and the surrounding area is characterised by lower level buildings. As such, whilst it is welcomed that the previous proposal has been reduced in scale the proposed additional height and massing at upper floor levels are not supported and it is advised that the front extensions are reduced.

8. CONSULTATION

Public Consultation

- 8.1 Letters were sent to 763 no. occupants of adjoining and nearby properties along Clerkenwell Road, Goswell Road, Glasshouse Yard, Crescent House on Golden Lane Estate, Old Street, Charterhouse Buildings, Charterhouse Square, Crescent Row, Sycamore Street on 11th October 2018, and site and press adverts were displayed. Following the submission of additional information, additional consultation letters were sent on 5th June 2019. The public consultation of the application expired on 19th June 2019.

- 8.2 It is the Council's practice to continue to consider representations made up until the date of a decision. At the time of writing of this report 5 no. objections in total had been received from the public with regard to the application. The issues raised can be summarised as follows (with the paragraph that provides responses to each issue indicated in brackets):

- The proposal would have a detrimental impact on the setting of the Grade II* Listed Building of Crescent House immediately opposite the application site to the east (paragraphs 10.33 to 10.49)
- The introduction of a retail unit to the area that includes food sales, due to the impact on the character of the area and increase litter (paragraphs 10.1 to 10.9, and 10.86)

- Amenity impact on neighbouring properties in terms of noise, disturbance and odour (including to 25B Goswell Road, 9b Clerkenwell Road and Crescent House) (paragraphs 10.64 to 10.71)
- Loss of daylight/sunlight as a result of increase height (including to 25B Goswell Road, 9b Clerkenwell Road and Crescent House) (paragraphs 10.34 to 10.58)
- Loss of privacy to nearby residential properties, including from terraces (including to 25B Goswell Road, 9b Clerkenwell Road and Crescent House) (paragraphs 10.59 to 10.62)
- Light Pollution to surrounding area (paragraphs 10.68 to 10.70)
- Impact on and restrictions on parking on the surrounding area, including for disabled residents (paragraphs 10.65 and 10.85)
- Lack of accessible accommodation including entrance (paragraphs 10.72 and 10.73)
- Lack of consultation with City of London (paragraph 10.97)

Internal Consultees

- 8.4 **Design and Conservation Officer:** following discussions and amended drawings raised no objections to the proposal. It was concluded by the Conservation Officer that the amended development would result in no harm to the setting of the heritage assets associated with the application site
- 8.5 **Pollution Officer:** raised no objections to the proposal, subject to conditions including the plant hours of operation, sound levels and for a post mitigation installation report to be submitted, as well as a written code for the management of noise from emergency plant and equipment, and a Construction and Environmental Management Plan.
- 8.6 **Inclusive Design Officer:** raised no objections following the submission of amended and additional drawings.
- 8.7 **Planning Policy Officer:** raised no objections to the proposal.
- 8.8 **Energy Officer:** raised no objections to the proposal, and recommended that the details of the Energy Strategy are secured by condition.
- 8.9 **Sustainability Officer:** raised no objections to the proposal, but requested that details green roof, as well as the measures in the Sustainable Design and Construction Statement, and Energy Strategy, is secured by way of condition.

External Consultees

- 8.9 **Historic England:** confirmed that they do not wish to offer any comments and recommend seeking the views of the Council's specialist conservation advisors.
- 8.10 **Historic England (GLAAS):** confirmed that the development has no archaeological requirement.
- 8.11 **City of London:** consulted on 10th September 2019. No comments were received at the time of writing this report.

9. RELEVANT STATUTORY DUTIES & DEVELOPMENT PLAN CONSIDERATIONS & POLICIES

9.1 Islington Council (Planning Sub-Committee B), in determining the planning application has the following main statutory duties to perform:

- To have regard to the provisions of the development plan, so far as material to the application and to any other material considerations (Section 70 Town & Country Planning Act 1990);
- To determine the application in accordance with the development plan unless other material considerations indicate otherwise (Section 38(6) of the Planning and Compulsory Purchase Act 2004) (Note: that the relevant Development Plan is the London Plan and Islington's Local Plan, including adopted Supplementary Planning Guidance.) and;
- As the development is within the setting of conservation areas, the Council also has a statutory duty in that special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area (s72(1)).
- As the development affects the setting of listed buildings, Islington Council (Planning Committee) is required to have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses (S66 (1) Planning (Listed Buildings and Conservation Areas) Act 1990)

9.2 National Planning Policy Framework (NPPF): Paragraph 11 states: "at the heart of the NPPF is a presumption in favour of sustainable development which should be seen as a golden thread running through both plan-making and decision-taking. For decision-taking this means: approving development proposals that accord with the development plan without delay..."

9.3 At paragraph 8 the NPPF states: "that sustainable development has an economic, social and environmental role".

9.4 Since March 2014 Planning Practice Guidance for England has been published online.

9.5 In considering the planning application account has to be taken of the statutory and policy framework, the documentation accompanying the application, and views of both statutory and non-statutory consultees.

9.6 The Human Rights Act 1998 incorporates the key articles of the European Convention on Human Rights into domestic law. These include:

- Article 1 of the First Protocol: Protection of property. Every natural or legal person is entitled to the peaceful enjoyment of his possessions. No one shall be deprived of his possessions except in the public interest and

subject to the conditions provided for by law and by the general principles of international law.

- Article 14: Prohibition of discrimination. The enjoyment of the rights and freedoms set forth in this Convention shall be secured without discrimination on any ground such as sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth, or other status.

9.7 Members of the Planning Sub-Committee must be aware of the rights contained in the Convention (particularly those set out above) when making any Planning decisions. However, most Convention rights are not absolute and set out circumstances when an interference with a person's rights is permitted. Any interference with any of the rights contained in the Convention must be sanctioned by law and be aimed at pursuing a legitimate aim and must go no further than is necessary and be proportionate.

9.9 The Equality Act 2010 provides protection from discrimination in respect of certain protected characteristics, namely: age, disability, gender reassignment, pregnancy and maternity, race, religion or beliefs and sex and sexual orientation. It places the Council under a legal duty to have due regard to the advancement of equality in the exercise of its powers including planning powers. The Committee must be mindful of this duty inter alia when determining all planning applications. In particular, the Committee must pay due regard to the need to: (1) eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under the Act; (2) advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it; and (3) foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

Development Plan

9.10 The Development Plan is comprised of the London Plan 2016, Islington Core Strategy 2011, Development Management Policies 2013 and the Finsbury Local Plan 2013. The policies of the Development Plan that are considered relevant to this application are listed at Appendix 2 to this report.

9.11 The site has the following designations under the London Plan 2016, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013:

- Within the setting of the Charterhouse Square Conservation Area (immediately to the north)
- Within the setting of the Hat and Feathers Conservation Area (25m away to the south west)
- Within the setting of Grade II Listed Buildings (no. 25 Goswell Road immediately adjacent to the south, and Medical College, Rutland Place immediately adjacent to the west)
- Within the setting of Grade II* Listed Building (Crescent House to the east (opposite))

- Archaeological Priority Area - Clerkenwell
- Bunhill & Clerkenwell Core Strategy Key Area
- Central Activities Zone
- Finsbury Local Plan Employment Priority Area (General) and (Offices)
- Bunhill & Clerkenwell Finsbury Local Plan Area
- Cycle Routes (Local)
- Article 4 Direction A1-A2 (Rest of Borough)
- Article 4 Direction B1(c) to C3

Supplementary Planning Guidance (SPG) / Document (SPD)

9.12 The SPGs and/or SPDs which are considered relevant are listed in Appendix 2.

10. ASSESSMENT

10.1 The main issues arising from this proposal relate to:

- Principle (Land use)
- Design and Conservation
- Neighbouring Amenity
- Accessibility
- Sustainable Design
- Highways and Refuse
- Fire Safety
- Obligations

Land use

- 10.2 The existing building on the site provides for 6,362 sqm (GIA) of Use Class B1 business floorspace. The current application seeks permission for the refurbishment and extension of the existing building to provide 926 sqm of additional B1 office floorspace, resulting in a total of 7,288 sqm (GIA) of office floorspace (Use Class B1(a)) as well as the change of use of part of the ground floor (office) to introduce 72 sqm (GIA) of retail floorspace (Use Class A1) on a site located within the London Central Activities Zone (CAZ).
- 10.3 London Plan (LP) Policy 2.10 recognises the 'mixed' nature of much of the CAZ and seeks to enhance and promote the unique international, national and London wide role of the CAZ through the promotion of a range of mixed uses including: ensuring that development of office provision is made for a range of occupiers, and; supporting and improving the retail offer of the CAZ to meet the needs of its residents, workers and visitors.
- 10.4 Islington Core Strategy Policy CS13 encourages new employment floorspace, in particular business floorspace, to locate in the CAZ and town centres where access to public transport is greatest. Furthermore, it seeks to safeguard existing business spaces throughout the borough by protecting the change of use to non-business uses, particularly in the CAZ. Additionally, development which improves the quality and quantity of existing provision will be encouraged.

- 10.5 The site is located in the Bunhill and Clerkenwell Core Strategy Key area and the provisions of the Finsbury Local Plan are applicable. Islington Core Strategy Policy CS7 encourages employment-led development in the Bunhill and Clerkenwell area, identifying Goswell Road as one of the major routes within this area.
- 10.6 Policy BC8 of the Finsbury Local Plan supports the provision of a mix of employment uses, (the definition includes offices, industry, warehousing, studios, workshops, showrooms, retail, entertainment and private educational, health and leisure uses). In general terms it encourages office development (i.e. B1 (a) uses) throughout the designated area and the provision of a range of smaller floorplate, flexible and adaptable workspaces, alongside complementary uses. In addition, as the site also lies within the Employment Priority Area General, the relevant policy aims to sustain the existing level of business floorspace to support existing clusters of economic activity.
- 10.7 The proposal represents an uplift in business floorspace in accordance with the development plan policies, which is welcomed. Therefore, the proposed development complies with the above policies in so far as providing office floorspace on all floor levels above the ground level, while a retail area (A1 use) would be located at ground floor level to provide for an active frontage along Goswell Road, with office accommodation to the rear at this level.
- 10.8 Policy BC8 also stipulates that within the Employment Priority Area (General), the employment floorspace component of a development or change of use proposal should not be *“unfettered commercial office (B1(a)) uses, but, where appropriate, must also include retail or leisure uses at ground floor, alongside:*
- i. A proportion of non-B1(a) business or business-related floorspace (e.g. light industrial workshops, galleries and exhibition space), and/or*
 - ii. Office (B1(a)) or retail (A1) floorspace that may be suitable for accommodation by micro and small enterprises by virtue of its design, size or management, and/or*
 - iii. Affordable workspace, to be managed for the benefit of occupants whose needs are not met by the market.”*
- 10.9 The incorporation of 72 sqm (GIA) of retail floorspace (Use Class A1) would be consistent with policies 4.7 and 4.8 of the London Plan which seek to support a vibrant, diverse retail sector. The site is designated as a Priority Employment Area in the Finsbury Local Plan and the proposals would be consistent with Policy BC8 which seeks to provide a range of employment uses, particularly office uses with retail and leisure uses at street level to create vibrancy and interest on Goswell Road. The proposed ground floor retail element of the proposal has been designed as one unit with its own entrance at a 'small' size and subject to a condition prohibiting obscuring the shopfront glass would provide natural surveillance and an active frontage to this elevation of the building.
- 10.10 It is considered that the development is acceptable in land use terms with regard to the Development Plan and as such would make an efficient use of this site. Its delivery would be consistent with the broad aims of the NPPF and its presumption in favour of sustainable development that supports economic growth.

Design, Conservation and Heritage Considerations

- 10.11 The existing building, known as Gulliver's House, is an eight storey (with basement level below and plant screen above) predominantly pink granite clad building with its main frontage onto Goswell Road. The building has a set back at ground and first floor level, creating an overhang, supported by vertical columns, the building has a strong horizontal emphasis and well-proportioned fenestration with modest window reveals, cornicing and detailing.
- 10.12 Whilst the host building is not historically listed, nor is the site within a conservation area the site is located within the setting of several heritage assets. The site is within the setting of both the Charterhouse Square Conservation Area (immediately adjacent to the north) and within the setting of the Hat and Feathers Conservation Area (25m away to the south west). It is within the vicinity of a number of statutory listed buildings, being the Grade II Listed Buildings (no. 25 Goswell Road immediately adjacent to the south, and Medical College, Rutland Place immediately adjacent to the west) and the Grade II* Listed Building (Crescent House to the east (opposite)), as well as the Barbican 250m to the south.

Policy Context

- 10.13 Development Plan policies seek to secure sustainable development that is of high quality and contributes towards local character, legibility, permeability and accessibility of the neighbourhood. Developments should contribute to people's sense of place, safety and security. Development should have regard to the pattern and grain of spaces and streets in orientation, scale, proportion and mass and be human in scale with street level activity.
- 10.14 The delivery of high quality design including the conservation and enhancement of the historic environment is a key objective of the planning system which is to contribute to achieving sustainable development as supported by the NPPF. Sustainable development is further described as including positive improvements in the quality of the built and historic environments including but not limited to replacing poor design with better design (para 9). A core planning principle of the NPPF is to always seek to secure high quality design (para17).
- 10.15 NPPF Chapter 7 'Requiring good design' reinforces that this is a key aspect of sustainable development and indivisible from good planning and should contribute positively to making places better for people. Chapter 7 also confirms that high quality design includes consideration of individual buildings, public and private spaces. Policies and decisions should ensure that development amongst other things, responds to local character and history and reflects the identity of local surroundings and materials, whilst not preventing or discouraging appropriate innovation. Also, that they are visually attractive as a result of good architecture and appropriate landscaping.
- 10.16 NPPF Chapter 12 'Conserving and enhancing the historic environment' sets out relevant criteria for assessing and determining planning applications. Consideration includes harm posed to both designated and non-designated heritage assets and their setting.

- 10.17 At the regional level, high quality design is central to all the objectives of the London Plan and is specifically promoted in chapter 7 policies. These include: policy 7.1 which sets out some overarching design principles; policy 7.6 which considers building architecture; policy 7.7 which addresses specific design issues associated with tall buildings; policy 7.8 which seeks to protect heritage assets; policy 7.11 which considers strategic landmarks and wider character; and policy 7.4 which considers local character.
- 10.18 At a local level, Core Strategy Policy CS8 states that the scale of development will reflect the character of the area, while Policy CS9 requires new buildings to be of sympathetic scale and appearance and to be complementary to local identity; the historic significance of heritage assets and historic environment will be conserved whether they are designated or not; new buildings and developments to be based on a human scale and efficiently use a site which could mean some high density development; and tall buildings are generally inappropriate. This is further supported by Development Management policies DM2.1 (Design) and DM2.3 (Heritage). Given the host building exceeds 30m in height, Policy BC9 of the Finsbury Local Plan should be taken into consideration.
- 10.19 The advice found within the Islington Urban Design Guide (UDG) (2017) and both the Charterhouse Square and Hat and Feathers Conservation Area Design Guidelines should be taken into consideration of the assessment of the proposal in design terms.

Heights and massing

- 10.20 Given the proposal would proposal would result in extensions to the front elevation, above the existing parapet, to the top two floors, and plant screening above, as well as incrementally infilling the sloped rear elevation. Therefore, paragraphs 5.84 to 5.88 of the UDG which provide advice in relation to rooflines are relevant to the assessment of these upper floor additions. It notes that rooflines should normally respond to the articulation of the rest of the façade. The roofline should also reflect the rhythm, harmony and scale of the longer street frontage. Stepped or sculptured rooflines can appear monolithic particularly where the shape of the roof does not pick up the sub division of the façade.
- 10.21 Whilst not within the Charterhouse Conservation Area nor the Hat and Feathers Conservation Area their Design Guidelines advise that roof extensions to existing buildings should conform to the height of existing development in the immediate area and that those that are visible from the street or a public open space will not be granted where this is harmful to the character and appearance of the building. It further advises that most buildings in the area are between three and five storeys high. There are very few buildings over five storeys and most of these detract from the appearance of the area. (It should be noted that this forms guidance, not policy)
- 10.22 The proposal would result in the enlargement of these top two floors, as well as replace the existing screened plant area above, with additional office accommodation, both to the front and rear elevations. Whilst it is acknowledged that the extension to the host building would be visible from the public realm, from various vantage points, the proposal should be assessed in the context of the existing size of the building, which is eight storeys in height with an additional plant area above. Therefore, it is important to assess whether the increase in floorspace to the upper

floors would be harmful to the character and appearance of the building and the surrounding heritage assets, compared to its existing impacts.

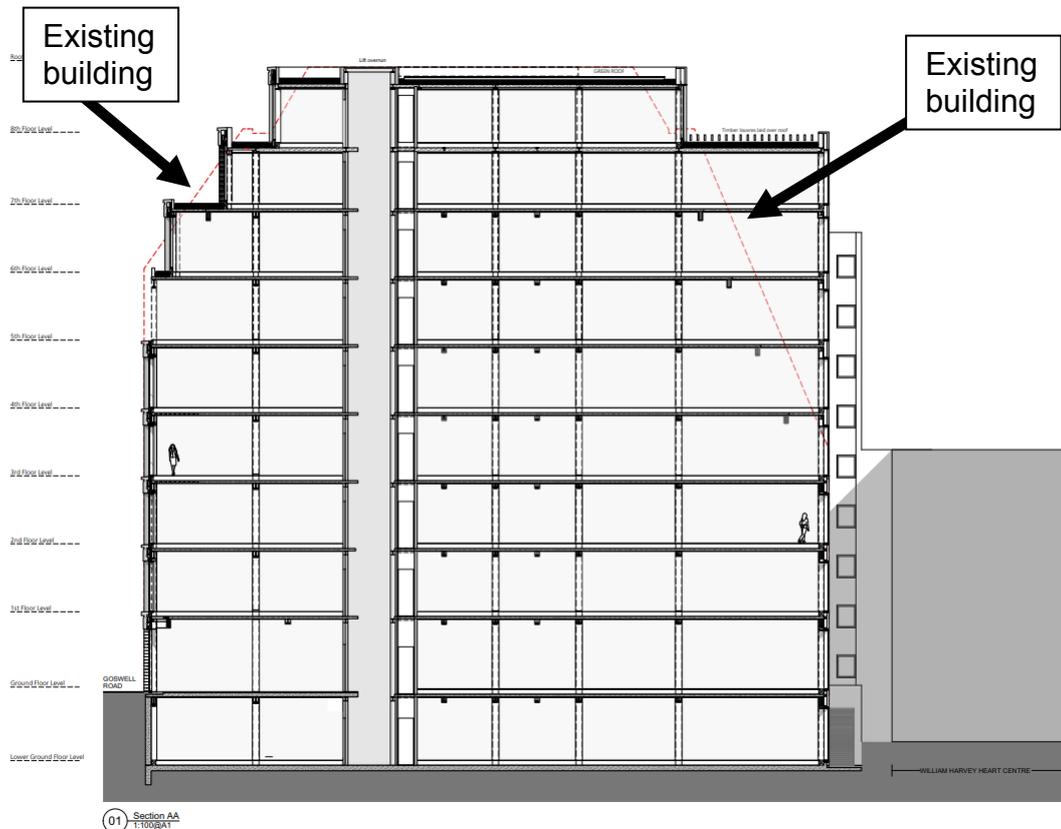


Image 7: Proposed section (A-A) drawing through the host building with arrows identifying red dotted line with shape of existing building

10.23 In terms of assessing the impact of the extensions, it is important to understand the context of how the host building sits within the wider streetscene. The surrounding buildings are characterised as a mixture four storey buildings (nos. 4-7 Charterhouse Buildings), to the north, and immediately opposite the site (Crescent House), to the east, with eight storey building, with a setback roof level above, immediately to the south (William Harvey Heart Centre, no. 29 Goswell Road), with a mixture of three and four buildings to the rear (Charterhouse Buildings). The existing host building is currently the tallest building within this context, which is eight storeys in total, with additional plant equipment above which is screened by metal louvres.



Image 8: Illustrative drawing (not to scale) showing existing relationship of host building with surrounding buildings along Goswell Road

- 10.24 As noted above, the host building including the plant screen enclosure exceeds the 30m limit, at a total of 33.1m, as to being considered a Tall Building as defined by Policy BC9 of the Finsbury Local Plan. Whilst it is acknowledged that the proposal would extend its depth to both the front and rear elevations, the proposal would not extend in height over and above the plant screen enclosure to the top floor which would now be office accommodation, and is the largest building within this terrace. Therefore, the acceptability of the proposal is to whether the scale and massing of this additional bulk and massing would have a harmful impact on the surrounding area.
- 10.25 The proposal would result in increased bulk to the front elevation to the top three floors, whilst retaining the stepped arrangement albeit set forward in terms of the existing situation. The rear elevation would be extended so that the existing rear elevation towards the bottom floors would be maintained apart from the top floor of accommodation, and would infill the rear courtyard area. Given its position and relationship with neighbouring buildings, whilst the front elevation would be highly visible from the public realm the majority of the rear and side (north) elevation would be obscured from view.

Elevational details and materials

- 10.26 Paragraphs 5.89 to 5.98 of the UDG provides advice in relation to elevational treatment and window arrangement and style. It notes that the way in which building elevations are treated can contribute to an appropriate sense of rhythm, scale and proportion. The elevation must work in terms of its relationship to its neighbours, to the public realm and its own architectural integrity. The internal (functional) and the external design requirements must be reconciled.
- 10.27 The front elevation of the proposal is characterised by a strong horizontal emphasis, with the inclusion of a horizontal spandrels at each floor, separated by with vertical ribbed piers. This horizontal emphasis is continued along the north elevation, which continues these spandrels. The stonework has been designed so that it would be have a darker colour at ground floor level which become lighter towards the top floor. The overall design approach of the front and side (north) elevation of the proposal is intended to make reference to the existing buildings within the surrounding area. considered to reflect the design of the existing properties found within the immediate area.

- 10.28 The window arrangement, which would employ a curtain walling system on the front façade apart from the ground floor and the recessed part of the first floor, which would be cap-less structural glazing, is intended to ensure that the strong sense of verticality is retained, with a secondary horizontal emphasis kept. The ground and upper ground floor levels towards the south of the building are treated as a single volume with double height space behind for the proposed entrance to the office accommodation, to give a sense of entrance and proportional hierarchy at ground, and would then visually integrate with the floors above at first floor level, towards the north of the building.
- 10.29 Within this double height recessed area, in front of the proposed entrance to the office accommodation, the proposal includes a feature column, which would align with the columns on the upper floors. The feature column would be clad in polyester powder coated steel, which would be externally rated so that it will have sufficient longevity to cope with the expected weathering.
- 10.30 Whilst the rear elevation would not be readily visible apart from the upper floors, it is important that this elevation would visually integrate with the surrounding area. The proposal would feature a similar but more simplified design, retaining the same horizontal pattern fenestration, which would include glazed curtain walling windows. However, it would use insulated render with the colour variation on concrete shade on the front façade. As advised within UDG, the Council has concerns about the use of render, given the variance in quality and durability of these types of materials. However, the applicant has provided details of the proposed render, confirming that it is a polymer based coloured render, providing a material that has a flexibility as well as having a constant colour right through its thickness, and confirms that it has very low maintenance and should spool as standard lime-sand-cement render can.
- 10.31 In addition, the applicant has provided details of how the render would be applied, confirming the render would be applied in-situ as a coating directly onto the insulation fixed to the facade. It is not panellised and so will not have large joints and/or fixings across the face. However, they have confirmed that as the material is monolithic it does need movement joints. These joints will be positioned at the points where there is a shade change between each window, which will allow the joints to be integrated seam-lessly into the facade appearance. Following the information provided, the use of render is considered to be acceptable.
- 10.32 It is considered that the proposed design of the facades would result in a coherent visual appearance for the host building and visually integrate with the surrounding area. However, given the sensitive location of the site, given the associated heritage assets, the acceptability of the proposal in design terms is dependent on the use of high quality materials. As such conditions have been recommended in relation to the details and samples, including the finish, to be submitted and approved by the Council prior to the commencement of the development.

Impact on Heritage Assets

- 10.33 Paragraph 193 of the National Planning Policy Framework confirms that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is

irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance. A heritage asset's significance includes its setting, which is defined as "a building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest. Heritage asset includes designated heritage assets and assets identified by the local planning authority'.

- 10.34 In order to carry out this this assessment, the proposal is required to pay special regard to preserving or enhancing the visual appearance and historic character of the heritage assets and their settings, in according with Section 66(1) and Section 72(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990.
- 10.35 In order to help assess the impact on the wider area, including the heritage assets, a number of verified views were identified to assess the visual prominence of the development to understand the impact of the proposal on the identified heritage assets.
- 10.36 These verified views have been taken to show how the proposal would visually integrate with the surrounding streetscape from various locations within the surrounding area. As noted above, the proposed extensions to the host building would be highly visible from Goswell Road being both the front and side (north) elevations. A scheme at no. 8-10 Charterhouse Buildings has recently gained approval, which is extant until October 2020, to add additional floorspace at roof level, in the form of a single storey roof extension at fifth floor and relocation of the existing rooftop plant to the proposed roof including a 1.6m high acoustic screen (ref. P2017/1155/FUL).
- 10.37 Whilst this development is not yet built, this scheme has been represented in the views in accordance with the approved drawings. It should be noted that additional applications have been submitted relating to this original development, which have been approved (ref. P2018/1447/S73 relating to alterations for further rear extensions, the design of the 5th floor, and relocation of the refuse and cycle storage) and which are currently under assessment (ref. P2019/1045/S73 relating to amendments to the 5th floor extension including the omission of mounted glazed juliette balconies to west elevation, modification to the roof plant layout and modification to the extent of sedum area and addition of a low level plant proposed below the parapet to the rear of the fifth floor. Other alterations include raising of parapet to the rear extension and additional door added to the rear plant area, pocket windows to the rear extension at 1st to 4th floors omitted).



Image 9: Existing view facing north showing blue outline of proposed extension

10.38 The front (east) and side (north) elevation of the host building is considered to be the most visually prominent elements of the proposal. Image 9 shows the verified view facing towards the front elevation from the south and from the opposite side of Goswell Road, outside Crescent House. This demonstrates that when viewed from this position, the proposed visual massing the proposal would largely replicate the scale and massing of the existing building. This is apart from a small section, of the sixth floor, which would be visible and project beyond the existing metal balustrades along the parapet. This additional projection would match the height of the parapet of the adjacent building to the south, when viewed from this position. This view is not considered to be harmful.

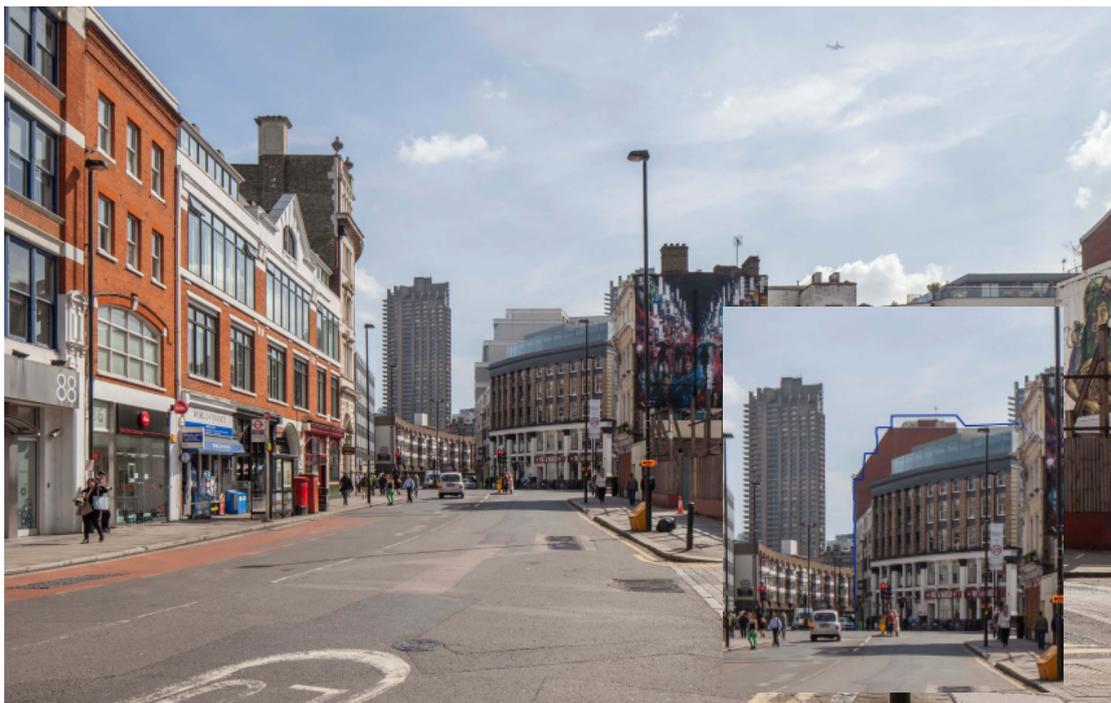


Image 10: Proposed visual facing south towards the flank elevation of the proposal, with inset visual showing how it compares with the existing situation with blue line showing the proposal outline

- 10.39 As shown in the inset images (in Image 10 and 11), from long and short views, the existing red brick cladding to the existing north flank elevation contributes limited value to the wider streetscene, being an extremely prominent element to the streetscene, especially in the setting of the heritage assets of the Barbican Tower, Crescent House and Hat and Feathers Conservation Area. This is amplified by the sharp and unnatural rake of the top floors which stands out particularly compared with the relationship that most other buildings have in this view from the north.
- 10.40 The remodelled volume leaves the view of the tower relatively unchanged and the new stepped outline brings the building more in line the street-scape improving how the building sits within its surroundings. Therefore, the scale and massing of the proposal is considered to be acceptable, in this view, given the proposed setbacks to the upper floors meaning that the bulk of the building would not be significantly different to existing situation and would retain a similar relationship with the existing adjoining buildings.



Image 11: Proposed visual facing south towards the flank elevation of the proposal, with inset visual showing how it compares with the existing situation.

- 10.41 Verified views were submitted from Charterhouse Buildings (Image 13) and Charterhouse Cloisters (Image 12), to the south west, which show that the proposed building would be largely obscured by both the existing buildings, and the trees planted within the Charterhouse grounds. In addition, views across the Golden Estate from Banner Street (Image 14) shows that only the top floor of the development would be visible from this position, which is the same as what can be seen in its existing situation. The submitted document titled 'Supporting Design Response' has

further investigated this view and has identified that the planning permission was granted for a 14 no. storey building (ref. P2017/2961/FUL) which would obscure views. This development relates to the former Richard Cloudesley School, City of London Community Education Centre.



Image 12: View of proposal from Charterhouse Cloisters



Image 13: View of proposal from Charterhouse Cloisters



Image 14: View of proposal across Golden Lane Estate from Banner Street without approved development under construction (ref. P2017/2961/FUL)

- 10.42 As noted in the proposal section above, the originally proposed was amended to resolve design concerns in relation to the proposed materials and their design and the increase and change of form of the 6th, 7th and 8th floors of the building. The original proposal was considered to form a dominant presence in the streetscene to the detriment of the setting of the Grade II* Listed Crescent House. The original proposal was considered it would cause less than substantial harm to its significance.
- 10.43 The original scheme was considered to result in a marginal harmful impact on the setting of the Barbican Tower from the north with the penthouse style 8th floor extension which was considered too “open” in design and materials with the extent of glazing and curtain walling, and would also have a harmful impact on the setting of the Hat and Feathers Conservation Area.
- 10.44 With regard to Historic England’s guidance on the setting of heritage assets, in relation to the 5 stage assessment process, the Grade II* Listed Crescent House has an important existing presence on the east side of Goswell Road. Its curved colonnade at ground level and curved upper storeys with projecting windows are an accomplished design. There It has a concrete finish to its elevation. It needs to remain the pre-eminent design and concrete building in the street, and currently it holds its own despite between less tall than most of the buildings on the opposite, west side of the street. The originally proposed materials’ form and their disposition on the front elevation and the increased prominence of the top storey of the host building was considered to adversely affect the setting of Crescent House. As noted in paragraph 10.43, and in regard to step 4 of this process, there was concerns in relation to the 6th, 7th and 8th floors in relation to the spandrel and expansion joints.
- 10.45 It was considered that given that there were no public benefits to the scheme sufficient to outweigh the less than substantial harm to the significance of the designated heritage assets, the Council requested clarification and alterations to the proposal, on a number of different issues. This included a change in the top storey to a solid capping and flank elevation which is considered to mitigate the visual impact problems of the previous glass style design and the corner treatment has been standardised at the top floors. The alterations to the ribbing size of the concrete piers, the degree of shading and the relocation of the plant louvres on the rear

elevation are improvements. The clarification regarding terraces, views, the parapet, the curtain walling, window treatments, expansion joint positions and materials, the spandrel lip, feature column and rear render have alleviated previous design concerns. However, a remaining issue is the colour of the framing to the curtain walling/windows which is proposed as black, which may appear austere. As such a condition has been recommended for the applicant to provide details of the window/curtain walling framing, including its colour, to be submitted and approved.

- 10.46 In relation to the impact on the setting of the heritage assets, the revised scheme is considered to result in improvements in comparison to the original proposal. In relation to Grade II* Crescent House on the opposite side of Goswell Road, the views from the south looking northwards and this shows Crescent House retaining its important position in the view. In views from the north, the more nuanced gradation of ribbed concrete colour has softened the previous potential impact in the street. It is considered that the revised design of the top storey has had an effect. In longer views south, this now provides a more contextual “closed” materiality that lessens the visual impact. In addition, by blending with and being in the same palette as the re-formed 6th and 7th floors, with their revised squared off corners, this is considered to give a better unity and coherence with the rest of the building. The alteration to lessen the concrete pier rib size is shown in the illustrations as having a less separated visual effect, which is considered a help arguably in increasing a sense of verticality against the horizontal spandrels. It is also considered that the alterations have helped in relation to the Hat and Feathers conservation area and the Barbican tower.

Conclusion

- 10.47 It is considered that the proposed development represents an improvement on the visual appearance of the existing building, in terms of materiality, and the general arrangement of the facades, visually integrating with the surrounding building. However, the acceptability of the proposal is dependent on the use of high quality materials, conditions have been recommended for the submission of details and samples prior to the commencement of the development.
- 10.48 It is acknowledged that the proposal would result in increased bulk and massing to both the front and rear elevations. However, the proposal would not result in an overall increase in height, as the extensions would match the height of the existing plant screen. The visual prominence of the proposal from the surrounding area including impact on the heritage assets have been assessed through the use of verified views. These views have shown that whilst the proposal would be highly visible from Goswell Road, views from the south would be similar to the existing situation, given the setbacks of the upper floors and the shape of the public highway. The materiality changes to the building is considered to reduce the visual prominence of the north flank elevation. The views from the surrounding area would be largely obscured and would be similar to the existing situation. The proposal is therefore considered to maintain a similar relationship with the surrounding buildings.
- 10.49 Overall, given the amendments made to the design, in terms of issues identified above, the proposal is considered to result in no harm to the setting of the heritage assets associated with the application site.

Neighbouring Amenity

- 10.32 The proposal site is in relatively close proximity to a number of adjoining properties. Residential amenity comprises a range of issues which include daylight, sunlight, overlooking and overshadowing impacts. These issues are addressed in detail below. The Development Plan contains adopted policies that seek to safeguard the amenity of adjoining residential occupiers including Development Management Policy DM 2.1.
- 10.33 DM Policy 2.1 requires new developments to provide a good level of amenity including consideration of noise and the impact of disturbance, hours of operation, vibration, pollution, fumes between and within developments, overshadowing, overlooking, privacy, direct sunlight and daylight, over-dominance, sense of enclosure and outlook. Further, London Plan Policy 7.6 requires large scale buildings in residential environments to pay particular attention to privacy, amenity and overshadowing.

Daylight and Sunlight

- 10.34 In general, for assessing the sunlight and daylight impact of new development on existing buildings, Building Research Establishment (BRE) criteria is adopted. In accordance with both local and national policies, consideration has to be given to the context of the site, the more efficient and effective use of valuable urban land and the degree of material impact on neighbours.
- 10.35 BRE Guidelines paragraph 1.1 states: *“People expect good natural lighting in their homes and in a wide range of non-habitable buildings. Daylight makes an interior look more attractive and interesting as well as providing light to work or read by”*. Paragraph 1.6 states: *“The advice given here is not mandatory and the guide should not be seen as an instrument of planning policy; its aim is to help rather than constrain the designer. Although it gives numerical guidelines, these should be interpreted flexibly since natural lighting is only one of many factors in site layout design...In special circumstances the developer or local planning authority may wish to use different target values. For example, in a historic city centre, or in an area with modern high rise buildings, a higher degree of obstruction may be unavoidable if new developments are to match the height and proportions of existing buildings”*.

Daylight:

- 10.36 The BRE Guidelines stipulate that... “the diffuse daylighting of the existing building may be adversely affected if either:
- *the VSC [Vertical Sky Component] measured at the centre of an existing main window is less than 27%, and less than 0.8 times its former value*
 - *the area of the working plane in a room which can receive direct skylight is reduced to less than 0.8 times its former value.” (No Sky Line / Daylight Distribution).*
- 10.37 At paragraph 2.2.7 of the BRE Guidelines it states: *“If this VSC is greater than 27% then enough skylight should still be reaching the window of the existing building. Any reduction below this level should be kept to a minimum. If the VSC, with the*

development in place is both less than 27% and less than 0.8 times its former value, occupants of the existing building will notice the reduction in the amount of skylight. The area of lit by the window is likely to appear more gloomy, and electric lighting will be needed more of the time.”

- 10.38 The BRE Guidelines state (paragraph 2.1.4) that the maximum VSC value is almost 40% for a completely unobstructed vertical wall.
- 10.39 At paragraph 2.2.8 the BRE Guidelines state: *“Where room layouts are known, the impact on the daylighting distribution in the existing building can be found by plotting the ‘no sky line’ in each of the main rooms. For houses this would include living rooms, dining rooms and kitchens. Bedrooms should also be analysed although they are less important... The no sky line divides points on the working plane which can and cannot see the sky... Areas beyond the no sky line, since they receive no direct daylight, usually look dark and gloomy compared with the rest of the room, however bright it is outside”.*
- 10.40 Paragraph 2.2.11 states: *Existing windows with balconies above them typically receive less daylight. Because the balcony cuts out light from the top part of the sky, even a modest obstruction may result in a large relative impact on the VSC, and on the area receiving direct skylight.”* The paragraph goes on to recommend the testing of VSC with and without the balconies in place to test if it is the development or the balcony itself causing the most significant impact.
- 10.41 The BRE Guidelines at its Appendix F gives provisions to set alternative target values for access to skylight and sunlight. It sets out that the numerical targets widely given are purely advisory and different targets may be used based on the special requirements of the proposed development or its location. An example given is *“in a mews development within a historic city centre where a typical obstruction angle from ground floor window level might be close to 40 degree. This would correspond to a VSC of 18% which could be used as a target value for development in that street if new development is to match the existing layout”*
- 10.42 Paragraph 1.3.45-46 of the Mayor of London’s Housing SPD states that:

‘Policy 7.6Bd requires new development to avoid causing ‘unacceptable harm’ to the amenity of surrounding land and buildings, particularly in relation to privacy and overshadowing and where tall buildings are proposed. An appropriate degree of flexibility needs to be applied when using BRE guidelines to assess the daylight and sunlight impacts of new development on surrounding properties, as well as within new developments themselves. Guidelines should be applied sensitively to higher density development, especially in opportunity areas, town centres, large sites and accessible locations, where BRE advice suggests considering the use of alternative targets. This should take into account local circumstances; the need to optimise housing capacity; and scope for the character and form of an area to change over time.

The degree of harm on adjacent properties and the daylight targets within a proposed scheme should be assessed drawing on broadly comparable residential typologies within the area and of a similar nature across London. Decision makers should recognise that fully optimising housing potential on large sites may necessitate

standards which depart from those presently experienced but which still achieve satisfactory levels of residential amenity and avoid unacceptable harm.'

Sunlight:

10.43 The BRE Guidelines (2011) state in relation to sunlight at paragraph 3.2.11:

"If a living room of an existing dwelling has a main window facing within 90degrees of due south, and any part of a new development subtends an angle of more than 25 degrees to the horizontal measured from the centre of the window in a vertical section perpendicular to the window, then the sunlighting of the existing dwelling may be adversely affected. This will be the case if the centre of the window:

- Receives less than 25% of annual probable sunlight hours, or less than 5% of annual probable sunlight hours between 21 September and 21 March and*
- Receives less than 0.8 times its former sunlight hours during either period and*
- Has a reduction in sunlight received over the whole year greater than 4% of annual probable sunlight hours."*

10.44 The BRE Guidelines) state at paragraph 3.16 in relation to orientation: *"A south-facing window will, receive most sunlight, while a north-facing one will only receive it on a handful of occasions (early morning and late evening in summer). East and west-facing windows will receive sunlight only at certain times of the day. A dwelling with no main window wall within 90 degrees of due south is likely to be perceived as insufficiently sunlit."*

10.45 They go on to state (paragraph 3.2.3): *"... it is suggested that all main living rooms of dwellings, and conservatories, should be checked if they have a window facing within 90 degrees of due south. Kitchens and bedrooms are less important, although care should be taken not to block too much sun.*

10.46 The following properties have been considered for the purposes of sunlight and daylight impacts as a result of the proposed development.

- 9b Clerkenwell Road
- 17 Clerkenwell Road
- 7 Charterhouse Buildings
- 4 Charterhouse Buildings
- The William Harvey Heart Centre
- Crescent House, Golden Lane Estate
- 1-9 Houghton Court
- The Medical College of St Bartholomew's Hospital

10.47 These properties are located along Goswell Road (to the north, south and east), Houghton Court (to the west) Clerkenwell Road (to the west), Charterhouse Buildings (to the west).

9b Clerkenwell Road

10.48 The report concludes that 1 no. of the 36 no. windows assessed at 9b Clerkenwell Road, located to the west of the development site, would have losses over 20% of their former values, in relation to VSC (Vertical Sky Component). This window is labelled W3/11 is at first floor level, and serves a living/kitchen/dining room. The percentage loss of VSC will be 37.5% which is acknowledged would exceed the BRE

threshold of 20%. However, it should be noted that this room is served by 3 no. windows, 2 no. of which fully complies with the VSC criteria.

10.49 The Daylight/Sunlight Report identifies that this more moderate alteration in VSC is fundamentally a consequence of the windows very low baseline value (1.76% VSC). This is largely because this window is located directly under a large overhang, which form part of the building design. As the existing light level is poor the alteration in percentage terms has been disproportionately exaggerated. The loss in absolute terms is just 0.66% VSC. Indeed, the BRE states that where the light to a room is inherently restricted due to the presence of a balcony or overhang, larger reductions in VSC may be unavoidable. In any event, the room as a whole fully meets NSL criteria, experiencing a 0% alteration in the No-Sky-Line. This means that the occupants within this room will not notice any change to their levels of daylight amenity.

Floor	Room / Window	Room use	Vertical Sky Component			No Sky Line (Daylight Distribution)		
			Existing (%)	Proposed (%)	Percentage reduction in VSC	Existing %	Proposed %	Percentage reduction in Daylight Distribution
9b Clerkenwell Road								
First	Room R1/11 / Window W3/11	Living/Kitchen/Dining	1.76	1.10	37.5	15	15	0

10.50 Of the total 21 assessed rooms within this building which have site facing windows, and which are orientated within 90 degrees of due South, all are fully BRE compliant relating to any APSH alterations. The occupants of these rooms will not notice any change to their levels of sunlight amenity.

4 Charterhouse Buildings

10.51 The report concludes that 1 no. of the 11 no. windows assessed at 4 Charterhouse Buildings, located to the north, would experience a loss of over 20% of their former values, in relation to VSC. This window is labelled as W4/112 is at second floor, and serves a living/kitchen/dining room. The percentage loss of VSC would be 38.2% which is acknowledged would exceed the BRE threshold of 20%. However, it should be noted that this room is dual aspect, with the room served by 2 no. windows, the larger one of which does not experience any alteration in VSC, the more ancillary window of which experiences an alteration in excess of BRE guidance. The loss in absolute terms is just 2.34% VSC and the room as a whole fully meets NSL criteria. This means that the occupants of this room will not notice any change to their levels of daylight within the room itself.

Floor	Room / Window	Room use	Vertical Sky Component			No Sky Line (Daylight Distribution)		
			Existing (%)	Proposed (%)	Percentage reduction in VSC	Existing %	Proposed %	Percentage reduction in Daylight Distribution
4 Charterhouse Building								
Second	Room R3/112	Living/Kitchen/Dining	6.12	3.78	38.24	9	8.7	0.3

10.52 In terms of sunlight, of the total 10 no. assessed rooms within this building which have site facing windows, and which are orientated within 90 degrees of due South, 9 no. are fully BRE compliant relating to any APSH alterations. The occupants of these rooms would not notice any change to their levels of sunlight amenity. The remaining 1 room (Room R3/111/Window W3/111) experiences a minor breach (25.8%) of BRE sunlight criteria, although retains a good absolute level of 23% APSH compared to the recommended 25%, and 4% winter sunlight compared to the recommended 5%. The occupants of this room will therefore still retain good sunlight levels throughout the year.

Floor	Room / Window	Room use	Existing Total APSH	Proposed Total APSH	Total % Loss	Existing Winter APSH	Proposed Winter APSH	Winter % Loss
3 rd Floor	Room R3/111 / Window W3/111	Bedroom	31	23	25.8	6	4	33.3

William Harvey Heart Centre

10.53 The report concludes that a total of 9 no. windows serving 8 no. rooms have been assessed, all of which are understood to comprise bedrooms at William Harvey Heart Centre, which is a mixed use building to the north with ancillary residential units. Of this total, 3 rooms and associated windows are fully BRE compliant in terms of any VSC and NSL alterations. Of the remaining 5 no. rooms and associated windows, 2 (Room R1/123/ Window W1/123 (27.9% loss) and Room R1/124/ Window W1/124 (26.8% VSC loss)) experience minor derogations from BRE guidance, with alterations of up to 27.9% compared to the recommended 20%. The remaining 3 no. rooms and windows (R1/125(W1/125), R1/126(W1/126) and R1/127(W1/127)) experience slightly more moderate alterations of 30.4%, 33.7% and 36.4% respectively, although their retained levels of 19-20% absolute VSC are considered very reasonable, particularly in respect of the rooms' bedroom usage, where there is generally a lesser expectation of daylight. Further, all rooms fully meet BRE NSL criteria, experiencing very small alterations of between 0.1- 2.4%. Absolute NSL

levels are considered by the report to be generally excellent and range between 67.5-100%.

Floor	Room / Window	Room use	Vertical Sky Component			No Sky Line (Daylight Distribution)		
			Existing (%)	Proposed (%)	Percentage reduction in VSC	Existing %	Proposed %	Percentage reduction in Daylight Distribution
William Heart Harvey Centre								
First	Room R1/123 / Window W1/123	Bedroom	17.13	12.34	27.9	8.0	7.8	0.2
First	Room R1/124 / Window W1/124	Bedroom	25.22	18.44	26.8	9.1	9.0	0.1
First	Room R1/125 / Window W1/125	Bedroom	27.7	19.27	30.4	9.1	9.0	0.1
First	Room R1/126 / Window W1/126	Bedroom	30.16	19.98	33.7	9.1	9.0	0.1
First	Room R1/127 / Window W1/127	Bedroom	32.37	20.57	36.4	9.1	9.0	0.1

10.54 In terms of sunlight, none of the windows are oriented to within 90 degrees of due south. This building is not, therefore, material for sunlight amenity assessment. This property will be entirely BRE compliant in sunlight terms.

Crescent House, Golden Lane Estate

10.55 This building is located to the east of the application site, on the opposite side of Goswell Road. The windows are arranged as a series of small individual panels of glass which collectively come together to form a much larger aperture. The submitted report has undertaken VSC daylight analysis on each pane of glass. Herein each pane of glass is referred to as a 'window'. There is a total of 125 no. site facing windows serving 33 rooms which have been assessed. Of this total, 32 rooms and associated windows are fully BRE compliant in terms of any VSC and NSL alterations. The 1 remaining room (R3/133) is served by 7 windows. 6 of these fully meets VSC criteria, with the remaining window experiencing a minor alteration of 23.5% which is only just in excess of the recommended 20% maximum. With regards to NSL methodology, which analyses the extent of daylight penetration into the room itself, all rooms fully meet guidance, with the greatest NSL alteration being just 5.2%. This means that the occupants of this room are unlikely to notice any change to their levels of daylight amenity.

Floor	Room / Window	Room use	Vertical Sky Component			No Sky Line (Daylight Distribution)		
			Existing (%)	Proposed (%)	Percentage reduction in VSC	Existing %	Proposed %	Percentage reduction in Daylight Distribution
Crescent House, Golden Lane Estate								
Third	Room R3/133 / Window W14/133	Living/Dining	4.84	3.70	23.5	89.5	89.5	0

10.56 The building has a total of 30 rooms no. within this building that have site facing windows and which are orientated within 90 degrees of due South, all of which are fully BRE compliant relating to any APSH alterations. The occupants of these rooms will not notice any change to their levels of sunlight amenity.

Other Buildings

10.57 The remaining buildings assessed within the submitted Daylight/Sunlight Report, (being nos. 17 Clerkenwell Road, 7 Charterhouse Buildings, 1-19 Houghton Court, The Medical College of St Bartholomew's Hospital) has identified that all rooms and windows are fully compliant in terms of any VSC and NSL alterations. In terms of sunlight, all site facing windows within these properties and which are orientated within 90 degrees of due South, all of which are fully BRE compliant relating to any APSH and AWSH alterations.

Conclusion

10.58 Overall, it is acknowledged that the proposal would result in transgressions in terms VSC and APSH against BRE guidelines. However, the proposal includes a relatively high level of compliance in connection with the daylight and sunlight methodologies specified within the BRE Guidelines. Indeed, there is full NSL compliance for all properties included for assessment- a methodology which analyses the extent of daylight penetration into the room itself. Therefore, given its central London location, within the Central Activities Zone, and its urban context these losses are considered acceptable.

Overlooking

10.59 Development Management Policy DM 2.1 states that there should be a minimum distance of 18 metres between windows of habitable rooms. However, this does not apply across the public highway, as overlooking across a public highway does not constitute an unacceptable loss of privacy. Therefore, with regard to the properties along the east side of Goswell Road, given that there are no roof terraces to the front elevation, it is not considered that there would be an unacceptable impact on the amenity of these properties. The Planning Authority does not operate a separation

distance requirement across public highways. This is because urban design requirements will generally ensure that a similar amount of overlooking would occur (as currently occurs) further up or down a street between facing properties. This is a usual occurrence that is seen throughout London. It should also be noted that overlooking from office use to residential use is not similar to a habitable room overlooking a habitable room.

10.60 There are a number of residential properties within close proximity to the rear elevation, including properties who are less than the required 18m distance at the lower parts of the building (4m at closest point). It is considered that the scale of the adjoining buildings, the majority of which are four storeys in height, means that the upper floor extensions to the existing raked back rear elevation and the upper floors of the infill extension is not considered to result in any significant overlooking to these properties, over and above the existing rear elevation windows. The rear elevation windows would be perpendicular to those with the adjoining William Harvey Centre to the south. However, it is acknowledged that the lower floors (3rd floor and below) to the infill extension to the rear courtyard would reduce the existing separation distance between neighbouring properties, particularly to the rear of no. 14-15 Charterhouse Buildings, which would reduce the existing separation distance from 3.45m to 2.8m at its closest point. However, based on Council's planning records and street view photographs, this building does not contain any residential properties and is solely occupied by the Society of Genealogists. The infill would largely retain the existing separation distance with no. 4 Charterhouse Buildings, due to the shape of this extension, retaining a gap of 2.7m at its nearest point. It should also be noted that there is only one high level window on the elevation facing this extension from this adjoining building. Given the orientation, the separation distances between properties, and the existing windows on the rear elevation and the office use of the host building and commercial use of the nearest building, it is not considered to result in any significant overlooking to neighbouring properties.

10.61 Notwithstanding the above, it is noted that the proposal would result in the introduction of roof terraces to rear elevation at both the eighth (top) and lower ground floor. The elevated position at 8th floor and to the rear elevation as well as the use of balustrades, and the difference in heights of the surrounding buildings, this roof terrace is not considered to result in any significant overlooking to neighbouring properties. The position of the other roof terrace at lower ground floor is not considered to result in any significant overlooking to neighbouring properties. A condition is recommended in relation to the details of the proposed balustrades associated with the proposed roof terrace at 8th floor, to be submitted and approved in writing and retained thereafter.

10.62 Overall, given the location of the roof terraces the proposal is considered not to result in any significant privacy issues, over and above the existing situation.

Sense of Enclosure

10.63 Whilst it is acknowledged that the proposal would not result in additional height, it would result in increased bulk and massing to front and rear of the host building. However, given the separation distances from adjacent residential properties, the proposal is not considered to result in a sense of enclosure to neighbouring properties.

Noise

- 10.64 The application was accompanied by the submission of a Noise Survey and Assessment Report (Rev.02) produced by Hoare Lea and dated 14th March 2019. This survey report has been undertaken in order to establish the existing noise environment at the site and surrounding areas.
- 10.65 Following a review of the report the Pollution Officer has recommended conditions to ensure that plant equipment operates below background noise levels to protect nearby residential amenity. The development will involve substantial structural alterations and then a considerable construction period with the inevitable impact upon the nearby residential and commercial occupants. To mitigate these impacts, it is recommended that a Construction and Environmental Management Plan is conditioned.
- 10.66 A condition has been recommended to ensure the use of the proposed roof terraces are restricted between 09:00 and 18:00 hours Monday to Friday.
- 10.67 A condition has also been recommended in relation to the hours of operation of the retail (A1) unit at ground floor, between 7:00 to 23:00 hours, Monday to Sundays.

Light Pollution

- 10.68 It is not recommended that the hours of occupation of the development be restricted. However, this raises the possibility of late night light pollution occurring, should office staff need to work outside normal office hours.
- 10.69 To address this, a condition (19) has been recommended for details of measures to adequately mitigate light pollution affecting neighbouring residential properties. The measures that are suggested and could be used include automated roller blinds, lighting strategies that reduce the output of luminaires closer to the façades or light fittings controlled through the use of sensors. In addition, another condition has been recommended in relation to the submission of any external lighting.
- 10.70 It is considered that these conditions would ensure the extent of light being used within the building is reduced and help minimise any impact on neighbouring properties, so as to address light pollution concerns.

Odour

- 10.71 In terms of odour, the proposal does not include any uses such as café/restaurants for example which emit odours, as such there are no odour concerns with respect of this proposal. Concerns were raised in relation to the inclusion of a WC extract facilities at roof level. Given the nature of the proposal, and the WC's would be used by the occupiers of the office accommodation and not for any commercial activities and is position at roof level, it is not considered to have a significant on the odour impact on neighbouring properties.

Accessibility

- 10.72 London Plan Policy 7.2 states development should achieve the highest standards of accessible and inclusive design, ensuring that developments can be used safely, easily and with dignity by all regardless of disability, age, gender, ethnicity or economic circumstances. Such requirements are also required by Islington Core Strategy CS12. Further, Development Management Policy DM 2.2 seeks all new developments to demonstrate inclusive design. The principles of inclusive and accessible design have been adopted in the design of this development in accordance with the above policies.
- 10.73 The provision of level access throughout the building is considered to be fundamental to the fulfilment of this policy. The provision of wheelchair accessible lifts and accessible toilets on all floors would ensure the building offers highly accessible accommodation. Council's Inclusive Design officers have confirmed that they do have concerns in relation to the having only 1 no. refuge place per floor, the lack of evacuation lift, and lack of hand rails in the disabled WC's. However, they have confirmed that the proposal would broadly meet the Council's objectives in terms of providing accessible accommodation for future occupiers, replacing it with an automated pivot door which would have a clear opening width of 1000mm.

Sustainable Design

- 10.74 London Plan Chapter 5 policies are the Mayor's response to tackling climate change, requiring all development to make the fullest contribution to climate change mitigation. This includes a range of measures to be incorporated into schemes pursuant to Policies 5.9-5.15. Sustainable design is also a requirement of Islington Core Strategy Policy CS10. Details and specific requirements are also provided within the Development Management Policies and Islington's Environmental Design SPD, which is supported by the Mayor's Sustainable Design and Construction Statement SPG.
- 10.75 The development is located in an urban area where people can access services on foot, bicycle or public transport. It is a mixed use development satisfying key sustainability objectives in promoting the more efficient use of land, and reducing the need to travel.
- 10.76 Policy DM7.1 seeks to ensure minor developments creating extensions of 100 sqm or greater, shall be accompanied by a Sustainable Design and Construction Statement (SDCS), including where relevant an Energy Statement, which shall clearly set out how the application complies with relevant sustainable design and construction policies and guidance, including the 'Be-Lean', 'Be-Lean', 'Be-Green' approach, carbon emissions reduction, cooling hierarchy, as well as further sustainability measures relating to water, materials, waste, sustainable transport, biodiversity, pollution, and local air quality. The SDCS confirms that the project is undergoing certification with the Building Research Establishment Environmental Assessment Method, and is targeting a rating of Very Good under the BREEAM Refurbishment and Fit-out 2014 scheme.

- 10.77 The application was accompanied by the submission of a SDCS by Hoare Lea which includes an Energy Strategy, which outlines how the proposal complies with the Council's objectives, this expands on the energy information within the SDCS, including further information on the Be Lean, Clean and Green results, and renewable heat.
- 10.78 The Council's Sustainability Officer has reviewed the proposal including this document and has recommended conditions relating to the inclusion of a green roof and bird boxes. The Energy Officer has confirmed that the information in relation to energy reduction is acceptable, and a condition has been recommended in relation to achieving a BREEAM rating of 'very good'.
- 10.79 It is therefore considered subject to the recommended conditions the proposal is acceptable in this regard.

Highways and Refuse

- 10.80 The site is located at the west side of Goswell Road, which is a principal borough road, which connects Angel to the south of the borough. The site has a Public Transport Accessibility Level (PTAL) of 6b, which is 'excellent,' with a number of bus stops located within walking distance. The building is currently used as business floorspace (Use Class B1).

Pedestrian Access

- 10.81 Core Strategy Policy CS10 (Sustainable design), Part H seeks to maximise opportunities for walking. Furthermore, in line with Development Management Policy DM2.1 (Design), Part A and DM2.2 (Inclusive design), new developments should be safe for pedestrians.
- 10.82 The PTAL of the site maximises the opportunity for visitors and employees to walk all or part of their trips to the site.

Cycle access and parking

- 10.83 Development Management Policy DM8.4 (Walking and cycling), Part C requires the provision of secure, sheltered, integrated, conveniently located, adequately lit, step-free and accessible cycle parking. Additionally, Core Strategy Policy CS10 (Sustainable design), Part H seeks to maximise opportunities for cycling.
- 10.84 Core Strategy Policy CS10 (Sustainable design), Part H seeks to maximise opportunities for cycling. The existing level of cycle parking provision is 15 spaces, which are located externally at lower ground floor level, within a shelter. The proposal includes storage for 73 no. cycles, on single and double stacked racks at lower ground floor, and 2 no. cycles at ground floor, this provision is considered to be policy compliant. A condition has been recommended to secure the proposed cycle provision.

Vehicle parking

- 10.85 For non-residential developments, Development Management Policy DM8.5 (Vehicle parking), Part B (Non-residential parking) states that parking will only be permitted

where this is essential for operational requirements and integral to the nature of the business/service (such as a car hire or storage/distribution use). Normal staff parking will not be permitted. The development does not propose any car parking in accordance with Core Strategy Policy CS10 (Sustainable development), Part H, which requires car free development.

Refuse and Recycling

- 10.86 Storage is appropriately located within the development at ground floor, split between the office and retail unit. The provision which is outlined in the Design and Access Statement includes 4no. 1280 litre Eurobins for waste storage, and 4 no. 1280 litre Eurobins for recycling. The details confirm that it will therefore be necessary for two collections per week to meet the anticipated demand for waste and recycling. Additionally, BREEAM requires a recycling storage area of 10sqm or greater to achieve the WST 3 credit for operational waste. Although there will be a single refuse store it will be made clear that at least 10sqm will be dedicated to recycling. Whilst it would be more desirable to have separate refuse/recycling storage facilities for the office and retail use, given that the two uses are both commercial and the Council provides a twice daily collection (6pm to 7pm, and 11pm to midnight) along Goswell Road, this provision is considered acceptable. A condition has been recommended to ensure this provision is implemented in full.

Servicing and Deliveries

- 10.87 Part A of DM Policy 8.6 (Delivery and servicing for new developments) requires that delivery/servicing vehicles are accommodated on-site, with adequate space to enable vehicles to enter and exit the site in forward gear (demonstrated by a swept path analysis). Where servicing/delivery vehicles are proposed on-street, Development Management Policy DM8.6 (Delivery and servicing for new developments) Part B requires details to be submitted to demonstrate that on-site provision is not practical, and show that the on-street arrangements will be safe and will not cause a traffic obstruction/nuisance. The Planning Statement has confirmed that a dedicated service entrance is re-provided at ground floor, with access direct from Goswell Road.
- 10.88 Therefore, given the introduction of a ground floor retail unit, which will likely result in increased deliveries, a delivery and servicing plan is to be secured by condition to ensure that the development has no adverse impact on the highway. This condition will require details to be submitted as required by Development Management Policy 8.6 and the servicing and delivery plan addressing the list of required information at section 8.39 of the Development Management Policies SPD.

Fire Safety

- 10.89 Part B of the London Plan policy 7.13 states that development proposals should contribute to the minimisation of potential physical risks, including those arising as a result of fire. The proposal was considered by London Fire Brigade and no objections were raised. An informative has been included in the recommendation to remind the applicant of the need to consider the requirements of the Building Regulations in relation to fire safety at an early stage, with particular regard to the provision of a sprinkler system.

Planning Obligations, Community Infrastructure Levy and Local Finance Considerations

- 10.90 The Community Infrastructure Levy (CIL) Regulations 2010, part 11 introduced the requirement that planning obligations under section 106 must meet three statutory tests, i.e. that they (i) necessary to make the development acceptable in planning terms, (ii) directly related to the development, and (iii) fairly and reasonably related in scale and kind to the development.
- 10.91 The Council's Planning Obligation's SPD, seeks to ensure strategic development proposals support local employment, skills development and training opportunities, by providing jobs and training opportunities/support. This includes through the use of on-site construction training opportunities from developments and jobs and training opportunities including apprenticeships from developments with an uplift in business/employment floorspace of 500 sqm (GEA) or greater.
- 10.92 The number of placements that are sought is based on the estimated number of construction jobs likely to be created by a development, based on information provided for completed developments in the borough and the extent of local training and support needs based on unemployment figures. The number of placements sought is defined as 1 no, construction training per 1000sqm (GEA) commercial floorspace, therefore 1 no. placement is required.
- 10.93 Should it not be possible to provide these placements, the Council will seek an equivalent contribution for construction training, which would be £5,000, support and local procurement to enhance the prospects of the use of local employment in the development. This is based on the average costs of providing construction training and support per person in Islington.
- 10.94 An employment and training contribution is also sought to improve the prospects of local people accessing new jobs created in the proposed development. This is based on the proportion of Islington residents who require training and support (in 2015, according to the Office for National Statistics, 6.7% of Islington residents were unemployed).
- 10.95 The proposal would result in an additional 45 no. employees, therefore the contribution in this regard would be £7,537.50. The contributions are used by the Council's Learning, Skills and Employment service to support employment and training initiatives in the borough to improve the prospects of local people accessing new jobs.
- 10.96 Under the terms of the Planning Act 2008 (as amended) and Community Infrastructure Levy Regulations 2010 (as amended), the Mayor of London's and Islington's Community Infrastructure Levy (CIL) will be chargeable on this application on grant of planning permission. This will be calculated in accordance with the Mayor's adopted Community Infrastructure Levy Charging Schedule 2019 and the Islington adopted Community Infrastructure Levy Charging Schedule 2014.

Other Matters

- 10.97 Concerns have been raised in relation to the lack of a response from the City of London Corporation. Whilst the City of London Corporation have been consulted, at

the time of the writing of this report no responses have been received. However, it should be noted that the neighbour consultation process included properties within the City of London boundaries which adjoin the site. Therefore, in accordance with Islington's consultation process, letters were sent out to all relevant neighbouring properties.

11. SUMMARY AND CONCLUSION

Summary

- 11.1 The proposal to redevelop the site is welcomed in principle, with the proposal to provide additional office floorspace, as well as the introduction of an active frontage in the form of a retail (A1 use) unit is compliant with the Policy BC8 of the Finsbury Local Plan and is appropriate in its location within the Central Activities Zone, which also seeks to maximise business floorspace. Construction training as well as an employment training contribution is to be secured by a Section 106 legal agreement.
- 11.2 Whilst the proposal would result in increased bulk and massing to the upper floors front and rear elevations, it would not result the building increasing in height, and shown within the verified views the proposal would retain a similar relationship with the surrounding buildings. The proposal is considered to improve materiality and has been designed visually integrate with the surrounding area. Overall, the proposal is considered to pay special regard to preserving the visual appearance and historic character of the host building and the heritage assets in the surrounding area.
- 11.3 The proposed development would result in limited harm to the residential amenities of the occupants of neighbouring dwellings, including by reason of loss of daylight and sunlight. However, the impact would relate to bedrooms or rooms which would be dual aspect and/or relate to secondary windows, and would comply with BRE requirements in relation to daylight distribution. In view of the central urban location, the need to make efficient use of the site the proposed development is acceptable in terms of its impact upon the residential amenities of the occupants of nearby dwellings. Conditions have been recommended to ensure that the proposal would not have a detrimental impact on the occupiers of neighbouring properties in terms privacy/overlooking, noise of the plant equipment and hours of use of the roof terrace, as well light pollution.
- 11.4 The proposal is considered acceptable in terms of land use, transportation, the, sustainability and energy, subject to conditions and an appropriate Section 106 agreement. Appropriate Section 106 Heads of Terms have been agreed with the applicant to mitigate the impacts of the development and secure compliance with the Development Plan.

Conclusion

- 11.5 It is recommended that planning permission be granted subject to conditions and Heads of Terms as part of a S106 legal agreement as set out in Appendix 1 - RECOMMENDATION.

APPENDIX 1 – RECOMMENDATIONS

RECOMMENDATION A

That planning permission be granted subject to the prior completion of a Deed of Planning Obligation made under section 106 of the Town and Country Planning Act 1990 between the Council and all persons with an interest in the land (including mortgagees) in order to secure the following planning obligations to the satisfaction of the Head of Law and Public Services and the Service Director, Planning and Development / Head of Service – Development Management or, in their absence, the Deputy Head of Service:

1. Facilitation, during the construction phase of the development, of 1 no. work placements: Each placement must last a minimum of 26 weeks. The London Borough of Islington's approved provider/s to recruit for and monitor placements, with the developer/contractor to pay wages. Within the construction sector there is excellent best practise of providing an incremental wage increase as the operative gains experience and improves productivity. The contractor is expected to pay the going rate for an operative, and industry research indicates that this is invariably above or well above the national minimum wage and even the London Living Wage (£10.55 as at 05/11/18). If these placements are not provided, LBI will request a fee of £5,000.
2. Payment towards employment and training for local residents of a commuted sum of £7,537.50.

RECOMMENDATION B

That the grant of planning permission be subject to conditions to secure the following:

List of Conditions:

1	Commencement
	<p>CONDITION: The development hereby permitted shall be begun not later than the expiration of three years from the date of this permission.</p> <p>REASON: To comply with the provisions of Section 91(1)(a) of the Town and Country Planning Act 1990 as amended by the Planning and Compulsory Purchase Act 2004 (Chapter 5).</p>
2	Approved Plans List
	<p>CONDITION: The development hereby approved shall be carried out in accordance with the following approved plans:</p> <p>Proposed Drawings:</p> <p>Proposed Lower Ground Plan: 987_GA LG P6, Proposed Ground Floor Plan: 987_GA 00 P6, Proposed First Floor Plan: 987_GA 01 P6, Proposed Second Floor Plan: 987_GA 02 P6, Proposed Third Floor Plan: 987_GA 03 P6, Proposed Fourth Floor Plan: 987_GA 04 P6, Proposed Fifth Floor Plan: 987_GA 05 P6, Proposed Sixth Floor Plan: 987_GA 06 P6, Proposed Seventh Floor Plan: 987_GA 07 P6, Proposed Eighth Floor Plan: 987_GA 08 P6, Proposed Roof Plan: 987_GA RF P6, Proposed Front Elevation: 987_GE 01 P5, Proposed Rear Elevation: 987_GE 02 P4, Proposed North Elevation: 987_GE 03 P4, Proposed South Elevation: 987_GE 04 P4, Proposed Section AA: 987_GS AA P7, Proposed Section BB: 987_GS BB P4, Proposed Section CC: 987_GS CC P4</p> <p>REASON: To comply with Section 70(1)(a) of the Town and Country Act 1990 as amended and the Reason for Grant and also for the avoidance of doubt and in the interest of proper planning.</p>
3	Materials and Samples (Details)
	<p>CONDITION: Details and samples of the following facing materials shall be submitted to and approved in writing by the Local Planning Authority before the superstructure works commence on site. The details and samples shall include:</p> <ul style="list-style-type: none">a) Brickwork, bond and mortar courses;b) Window treatment (including glazing, sections and reveals);c) Doors;d) Curtain walling;

	<p>e) Balustrades;</p> <p>f) Terraces;</p> <p>g) Plant screen;</p> <p>h) Roofing materials;</p> <p>i) Feature column</p> <p>j) Render</p> <p>k) Any other materials to be used externally.</p> <p>The development shall be carried out strictly in accordance with the details and samples so approved, shall be maintained as such thereafter and no change therefrom shall take place without the prior written consent of the Local Planning Authority.</p> <p>REASON: In the interest of securing sustainable development and to ensure that the resulting appearance and construction of the development is of a high standard.</p>
4	Construction Environmental Management Plan (Details)
	<p>CONDITION: A Construction Environmental Management Plan assessing the environmental impacts (including (but not limited to) noise, air quality including dust, smoke and odour, vibration and TV reception) of the development shall be submitted to and approved in writing by the Local Planning Authority prior to any works commencing on site. The report shall assess impacts during the construction phase of the development on nearby residents and other occupiers together with means of mitigating any identified impacts. The development shall be carried out strictly in accordance with the details so approved and no change therefrom shall take place without the prior written consent of the Local Planning Authority.</p> <p>REASON: In the interests of residential and local amenity, and air quality.</p>
5	Nesting Boxes (Compliance)
	<p>CONDITIONS: A total of 4No. bird and bat boxes (including swift boxes) shall be installed prior to the first occupation of the new floorspace hereby permitted, and shall be maintained as such thereafter. The bird / bat boxes shall be equally distributed across the application site.</p> <p>REASON: To ensure the development provides the maximum possible provision towards creation of habitats and valuable areas for biodiversity.</p>
6	Use Class A1 – Restrictions on Hours of Use
	<p>CONDITION: The proposed retail (A1) shall not operate outside the following times:</p>

	<p>Monday to Sunday – 07:00 to 23:00</p> <p>REASON: To ensure that the operation of the above uses do not have a detrimental impact on residential amenity.</p>
7	Green/Brown Biodiversity Roofs (Details)
	<p>CONDITION: Notwithstanding the roof plan indicated on drawing reference 987_GA-RF P6 details of a lightweight biodiversity (green/brown) roof shall be submitted to, approved in writing by the Local Planning Authority and installed prior to the first occupation of the new floorspace hereby permitted unless it is satisfactorily demonstrated that it is not feasible. The biodiversity (green/brown) roof(s) shall be:</p> <ul style="list-style-type: none"> a) biodiversity based with extensive substrate base (depth to be agreed); and b) planted/seeded with an agreed mix of species within the first planting season following the practical completion of the building works (the seed mix shall be focused on wildflower planting, and shall contain no more than a maximum of 25% sedum) unless it can be robustly demonstrated that this mix cannot be provided. <p>The biodiversity (green/brown) roof shall not be used as an amenity or sitting out space of any kind whatsoever and shall only be used in the case of essential maintenance or repair, or escape in case of emergency.</p> <p>The biodiversity roofs shall be carried out strictly in accordance with the details so approved and shall be maintained as such thereafter.</p> <p>REASON: To ensure the development provides the maximum possible provision towards creation of habitats and valuable areas for biodiversity.</p>
8	Fixed Plant (Compliance)
	<p>CONDITION: The design and installation of new items of fixed plant shall be such that when operating the cumulative noise level LAeq Tr arising from the proposed plant, measured or predicted at 1m from the facade of the nearest noise sensitive premises, shall be a rating level of at least 5dB(A) below the background noise level LAF90 Tbg. The measurement and/or prediction of the noise should be carried out in accordance with the methodology contained within BS 4142: 2014.</p> <p>REASON: To ensure that the operation of fixed plant does not have an adverse impact on residential amenity.</p>
9	Post installation noise mitigation report
	<p>CONDITION: Within 3 months of the installation of the hereby approved plant equipment, a report is to be commissioned by the applicant, using an appropriately experienced & competent person, to assess the noise from the proposed mechanical plant to demonstrate compliance with condition 8. The report shall include site measurements of the plant insitu. The report shall be</p>

	<p>submitted to and approved in writing by the Local Planning Authority and any noise mitigation measures shall be installed within 3 months of the date of the approved details and permanently retained thereafter. In the event that the noise levels breach the noise limits in condition 8 following the installation of the approved mitigation measures, the use of the plant equipment shall cease until such time measures to mitigate noise are implemented in full, which shall be retained thereafter.</p> <p>REASON: In the interests of neighbouring residential amenity.</p>
11	Cycle Storage
	<p>CONDITION: Storage for a minimum of no. 75 cycles (73 no. cycles at lower ground floor, and 2 no. accessible cycles at ground floor) shall be implemented in accordance with drawing no. 987_GA LG P6 and 987_GA 00 P6. The storage shall be covered, secure and provide for the 75 cycle spaces hereby approved.</p> <p>The bicycle storage area(s) shall be provided strictly in accordance with the details so approved, provided/erected prior to the first occupation of the development, and maintained as such thereafter.</p> <p>REASON: To ensure adequate cycle parking is available and easily accessible on site and to promote sustainable modes of transport, as well as to reduce opportunities for crime.</p>
13	Roof terraces (Compliance)
	<p>CONDITION: The roof terraces of the development hereby approved shall not be used except between the hours of 09:00 and 18:00 Monday to Friday except in the case of essential maintenance or repair, or escape in case of emergency.</p> <p>REASON: To ensure that the amenity of neighbouring residential properties are not adversely affected</p>
14	Internal Lighting
	<p>CONDITION: Details of measures to adequately mitigate light pollution affecting neighbouring residential properties shall be submitted to, approved in writing by the Local Planning Authority and implemented prior to first occupation of the new floorspace hereby permitted. These measures might include:</p> <ul style="list-style-type: none"> • Automated roller blinds; • Lighting strategies that reduce the output of luminaires closer to the façades; • Light fittings controlled through the use of sensors. <p>The approved mitigation measures shall be implemented strictly in accordance with the approved details and shall be permanently maintained thereafter.</p>

	<p>REASON: In the interests of the residential amenities of the occupants of adjacent residential dwellings.</p>
15	<p>Security & General Lighting (Details)</p>
	<p>CONDITION: Details of general and any security outdoor lighting, including full specification of all luminaries, lamps and support structures and hours of use, shall be submitted to and approved in writing by the Local Planning Authority prior to installation of any such external lights.</p> <p>The development shall be carried out strictly in accordance with the details so approved prior to the first occupation of the development hereby approved and shall be maintained as such thereafter and no change therefrom shall take place without the prior written consent of the Local Planning Authority.</p> <p>REASON: In the interests of good design, protecting the setting of and character of the designated heritage assets, security and protecting neighbouring and future residential amenity and existing and future habitats from undue light-spill.</p>
16	<p>Refuse and Recycling</p>
	<p>CONDITION: The waste and recycling storage facilities shall both be provided in accordance with Section 7 of the Design & Access Statement and drawing 987_GA 00 P6 prior to the first occupation of the development and shall be maintained as such thereafter.</p> <p>REASON: To secure the necessary physical waste enclosures to support the development and to ensure that responsible waste management practices are adhered to.</p>
17	<p>Delivery & Servicing Plan</p>
	<p>CONDITION: A delivery and servicing plan (DSP) detailing servicing arrangements including the location, times and frequency shall be submitted to and approved in writing by the Local Planning Authority prior to the first occupation of the development hereby approved.</p> <p>The development shall be constructed and operated strictly in accordance with the details so approved, shall be maintained as such thereafter and no change therefrom shall take place without the prior written consent of the Local Planning Authority.</p> <p>REASON: To ensure that the resulting servicing arrangements are satisfactory in terms of their impact on highway safety and the free-flow of traffic.</p>
18	<p>No Plumbing or Pipes</p>
	<p>CONDITION: No plumbing, down pipes, rainwater pipes or foul pipes shall be located/fixed to the external elevation(s) of the building hereby approved.</p> <p>REASON: The Local Planning Authority considers that such plumbing and pipes</p>

	would detract from the appearance of the building.
19	Roof-Top Plant & Lift Overrun
	<p>CONDITION: For the hereby approved development, unless otherwise approved in writing by the Local Planning Authority, there shall be no roof top plant and/or structures other than those shown on drawing no. 987_GA-RF/Rev.P6 (Roof Plan). The development shall be carried out strictly in accordance with the approved drawing and shall be maintained as such thereafter.</p> <p>REASON: In the interest of good design and also to ensure that the Authority may be satisfied that roof-top structures and/or the lift overruns do not have a harmful impact on the surrounding streetscene.</p>
20	No Obscuring of Ground Floor Frontage
	<p>CONDITION: The window glass of all ground floor commercial units shall not be painted, tinted or otherwise obscured and no furniture or fixings which may obscure visibility above a height of 1.4m above finished floor level be placed within 2.0m of the inside of the window glass.</p> <p>REASON: In the interest of securing passive surveillance of the street, an appropriate street frontage appearance and preventing the creation of dead/inactive frontages.</p>
21	Construction Logistics Plan (CLP)
	<p>CONDITION: No development shall take place unless and until a Construction Logistics Plan (CLP) has been submitted to and approved in writing by the Local Planning Authority. The approved CLP shall be adhered to throughout the construction period. The CLP shall provide details of:</p> <ol style="list-style-type: none"> 1. the parking of vehicles of site operatives and visitors 2. loading and unloading of plant and materials 3. storage of plant and materials used in constructing the development 4. the erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate 5. wheel washing facilities 6. measures to control the emission of dust and dirt during construction 7. a scheme for recycling/disposing of waste resulting from demolition and construction works <p>The report shall assess the impacts during the construction phases of the development on the surrounding roads, nearby residential amenity and other occupiers together with means of mitigating any identified impacts. The development shall be carried out strictly in accordance with the details so approved and no change therefrom shall take place without the prior written consent of the Local Planning Authority.</p> <p>REASON: In order to secure highway safety and free flow of traffic on St John</p>

	Street, local residential amenity and mitigate the impacts of the development.
22	Sustainable Design and Energy Measures
	<p>CONDITION: The sustainable design measures and energy strategy details identified within the hereby approved Sustainable Design and Construction Statement (Revision C) by Hoare Lea dated 8th March 2019 (including thermal insulation, ventilation measures, automatic lighting controls etc) and Addendum Energy Strategy details Revision B dated 8th March 2019 shall be implemented in full prior to occupation of the works hereby approved, and retained into perpetuity.</p> <p>REASON: To ensure the development is sustainable, minimises CO2 emissions.</p>
23	BREEAM
	<p>CONDITION: Evidence confirming that the development achieves a BREEAM rating (2008) of no less than 'Very Good' under BREEAM Non-Domestic Refurbishment and Fit-Out 2014 shall be submitted to and approved in writing by the Local Planning Authority. The evidence shall be provided in the following formats and at the following times:</p> <ul style="list-style-type: none"> a) a design stage assessment, supported by relevant BRE interim certificate(s), shall be submitted at pre-construction stage prior to commencement of above ground works on site; and b) a post-construction assessment, supported by relevant BRE accreditation certificate(s), shall be submitted following the practical completion of the development and prior to the first occupation. <p>The development shall be carried out strictly in accordance with the details so approved and achieve the agreed rating(s). The development shall be maintained as such thereafter.</p> <p>REASON: In the interest of addressing climate change and to secure sustainable development.</p>
24	Framing to the Curtain Walling/Windows
	<p>CONDITION: Notwithstanding the details shown on the approved drawings, details of the framing to the curtain walling/windows, including the colour, shall be submitted to and approved in writing by the Local Planning Authority before the curtain walling works commence on site. The approved details shall be implemented in full and retained thereafter.</p> <p>REASON: In the interest of securing sustainable development and to ensure that the resulting appearance and construction of the development is of a high standard.</p>
25	Accessible Showers/WC's/Changing Rooms (Compliance)
	<p>CONDITION: For the hereby approved development the accessible showers, WC's and changing rooms shall be implemented in accordance with drawing nos</p>

	<p>987_GA-01/P6, 987_GA-02/P6, 987_GA-03/P6, 987_GA-04/P6, 987_GA-05/P6, 987_GA-06/P6, 987_GA-07/P6, and 987_GA-08/P6, and shall be available for users upon the first occupation of the new floorspace hereby permitted. The layout shall be retained in accordance with the approved drawings for the lifetime of the building.</p> <p>REASON: To provide an accessible environment for future occupiers.</p>
26	Roof terraces
	<p>CONDITION: Notwithstanding the details shown on the hereby approved drawings, details of the balustrades for the roof terrace at 8th floor shall be submitted and approved in writing prior to the occupation of the new floorspace hereby permitted. The approved details shall be implemented in full prior to the use of the roof terrace and retained thereafter.</p> <p>REASON: To protect the amenity of neighbouring properties.</p>

List of Informatives:

1	S106
	<p>SECTION 106 AGREEMENT</p> <p>You are advised that this permission has been granted subject to a legal agreement under Section 106 of the Town and Country Planning Act 1990.</p>
2	Superstructure
	<p>DEFINITION OF 'SUPERSTRUCTURE' AND 'PRACTICAL COMPLETION'</p> <p>A number of conditions attached to this permission have the time restrictions 'prior to superstructure works commencing on site' and/or 'following practical completion'. The council considers the definition of 'superstructure' as having its normal or dictionary meaning, which is: the part of a building above its foundations. The council considers the definition of 'practical completion' to be: when the work reaches a state of readiness for use or occupation even though there may be outstanding works/matters to be carried out.</p>
3	Community Infrastructure Levy (CIL) (Granting Consent)
	<p>INFORMATIVE: Under the terms of the Planning Act 2008 (as amended) and Community Infrastructure Levy Regulations 2010 (as amended), this development is liable to pay the Mayor of London's Community Infrastructure Levy (CIL). This will be calculated in accordance with the Mayor of London's CIL Charging Schedule 2012. One of the development parties must now assume liability to pay CIL by submitting an Assumption of Liability Notice to the Council at cil@islington.gov.uk. The Council will then issue a Liability Notice setting out the amount of CIL that is payable.</p> <p>Failure to submit a valid Assumption of Liability Notice and Commencement Notice prior to commencement of the development may result in surcharges being imposed. The above forms can be found on the planning portal at: www.planningportal.gov.uk/planning/applications/howtoapply/whattosubmit/cil</p>

	<p>Pre-Commencement Conditions:</p> <p>These conditions are identified with an 'asterix' * in front of the short description. These conditions are important from a CIL liability perspective as a scheme will not become CIL liable until all of these unidentified pre-commencement conditions have been discharged.</p>
4	<p>Roller Shutters</p> <p>ROLLER SHUTTERS</p> <p>The scheme hereby approved does not suggest the installation of external rollershutters to any entrances or ground floor glazed shopfronts. The applicant is advised that the council would consider the installation of external rollershutters to be a material alteration to the scheme and therefore constitute development. Should external rollershutters be proposed a new planning application must be submitted for the council's formal consideration.</p>
5	<p>Sprinkler Systems</p> <p>While fire safety and floor layout will be further considered though the building control process, you are strongly advised by the London Fire and Emergency Planning Authority to install sprinkler systems as these significantly reduce the damage caused by fire and the consequential cost to business and housing providers, and can reduce the risk to life.</p>

APPENDIX 2: RELEVANT POLICIES

This appendix lists all relevant development plan policies and guidance notes pertinent to the determination of this planning application.

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1. National Guidance

The National Planning Policy Framework 2019 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.

Since March 2014 Planning Practice Guidance for England has been published online.

2. Development Plan

The Development Plan is comprised of the London Plan 2016, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013. The following policies of the Development Plan are considered relevant to this application:

A) The London Plan 2016 - Spatial Development Strategy for Greater London, Consolidated with Alterations since 2011

1 Context and strategy

Policy 1.1 Delivering the strategic vision and objectives for London

2 London's places

Policy 2.1 London in its global, European and United Kingdom context

Policy 2.2 London and the wider metropolitan area

Policy 2.3 Growth areas and co-ordination corridors

Policy 2.5 Sub-regions

Policy 2.9 Inner London

Policy 2.10 Central Activities Zone – strategic priorities

Policy 2.11 Central Activities Zone – strategic functions

Policy 2.12 Central Activities Zone – predominantly local activities

Policy 2.13 Opportunity areas and intensification areas

3 London's people

Policy 3.1 Ensuring equal life chances for all

Policy 3.2 Improving health and addressing health inequalities

4 London's economy

Policy 4.1 Developing London's economy

Policy 4.2 Offices

Policy 4.3 Mixed use development and offices

Policy 4.7 Retail and town centre development

Policy 4.8 Supporting a successful and diverse retail sector

Policy 4.9 Small shops

Policy 4.10 New and emerging economic sectors

Policy 4.11 Encouraging a connected economy

Policy 4.12 Improving opportunities for all

5 London's response to climate change

Policy 5.10 Urban greening

Policy 5.11 Green roofs and development site environs

Policy 5.13 Sustainable drainage

Policy 5.14 Water quality and wastewater infrastructure

Policy 5.15 Water use and supplies

Policy 5.16 Waste self-sufficiency

Policy 5.17 Waste capacity

Policy 5.18 Construction, excavation and demolition waste

Policy 5.19 Hazardous waste

Policy 5.21 Contaminated land

Policy 5.22 Hazardous substances and installations

6 London's transport

Policy 6.1 Strategic approach

Policy 6.2 Providing public transport capacity and safeguarding land for transport

Policy 6.3 Assessing effects of development on transport capacity

Policy 6.4 Enhancing London's transport connectivity

Policy 6.5 Funding Crossrail and other strategically important transport infrastructure

Policy 6.7 Better streets and surface transport

Policy 6.8 Coaches

Policy 6.9 Cycling

Policy 6.10 Walking

Policy 6.11 Smoothing traffic flow and tackling congestion

Policy 6.12 Road network capacity

Policy 6.13 Parking

Policy 6.14 Freight

7 London's living places and spaces

Policy 7.1 Building London's

neighbourhoods and communities

Policy 7.2 An inclusive environment

Policy 7.3 Designing out crime

Policy 7.4 Local character

Policy 7.5 Public realm

Policy 7.6 Architecture

Policy 5.1 Climate change mitigation
Policy 5.2 Minimising carbon dioxide emissions
Policy 5.3 Sustainable design and construction
Policy 5.4 Retrofitting
Policy 5.5 Decentralised energy networks
Policy 5.6 Decentralised energy in development proposals
Policy 5.7 Renewable energy
Policy 5.8 Innovative energy technologies
Policy 5.9 Overheating and cooling

Policy 7.8 Heritage assets and archaeology
Policy 7.13 Safety, security and resilience to emergency
Policy 7.14 Improving air quality
Policy 7.15 Reducing noise and enhancing soundscapes
Policy 7.19 Biodiversity and access to nature

8 Implementation, monitoring and review

Policy 8.2 Planning obligations
Policy 8.3 Community infrastructure levy

B) Islington Core Strategy 2011

Spatial Strategy

Policy CS7 (Bunhill and Clerkenwell)

Strategic Policies

Policy CS9 (Protecting and Enhancing Islington's Built and Historic Environment)
Policy CS10 (Sustainable Design)
Policy CS11 (Waste)
Policy CS12 (Meeting the Housing Challenge)

Policy CS13 (Employment Spaces)
Policy CS14 (Retail and Services)
Policy CS15 (Open Space and Green Infrastructure)

Infrastructure and Implementation

Policy CS18 (Delivery and Infrastructure)
Policy CS19 (Health Impact Assessments)

C) Development Management Policies June 2013

Design and Heritage

DM2.1 Design
DM2.2 Inclusive Design
DM2.3 Heritage

Shops, culture and services

DM4.3 Location and concentration of uses
DM4.8 Shopfronts

Employment

DM5.1 New business floorspace

Health and open space

DM6.1 Healthy development
DM6.2 New and improved public open space
DM6.5 Landscaping, trees and biodiversity

Energy and Environmental Standards

DM7.1 Sustainable design and construction statements
DM7.2 Energy efficiency and carbon reduction in minor schemes
DM7.4 Sustainable design standards

Transport

DM8.1 Movement hierarchy
DM8.2 Managing transport impacts
DM8.3 Public transport
DM8.4 Walking and cycling
DM8.5 Vehicle parking
DM8.6 Delivery and servicing for new developments

Infrastructure

DM9.2 Planning obligations

D) Finsbury Local Plan June 2013

BC7 Historic Clerkenwell

BC8 Achieving a balanced mix of uses

BC9 Tall Buildings

BC10 Implementation

3. Designations

- Within the setting of the Charterhouse Square Conservation Area (immediately to the north)
- Within the setting of the Hat and Feathers Conservation Area (25m away to the south west)
- Within the setting of Grade II Listed Buildings (no. 25 Goswell Road immediately adjacent to the south, and Medical College, Rutland Place immediately adjacent to the west)
- Within the setting of Grade II* Listed Building (Crescent House to the east (opposite))
- Archaeological Priority Area - Clerkenwell
- Bunhill & Clerkenwell Core Strategy Key Area
- Central Activities Zone
- Finsbury Local Plan Employment Priority Area (General) and (Offices)
- Bunhill & Clerkenwell Finsbury Local Plan Area
- Cycle Routes (Local)
- Article 4 Direction A1-A2 (Rest of Borough)
- Article 4 Direction B1(c) to C3

4. SPD/SPGS

Islington Local Plan

- Environmental Design
- Conservation Area Design Guidelines
- Inclusive Landscape Design
- Planning Obligations and S106
- Urban Design Guide
- Development Viability SPD

London Plan

- Accessible London: Achieving and Inclusive Environment
- Sustainable Design & Construction
- Planning for Equality and Diversity in London